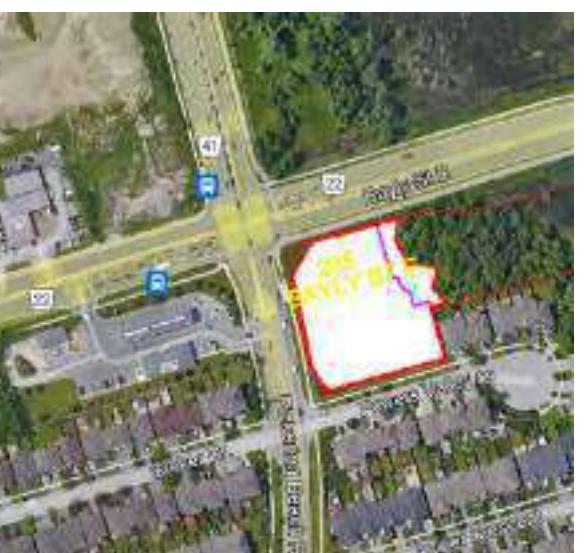


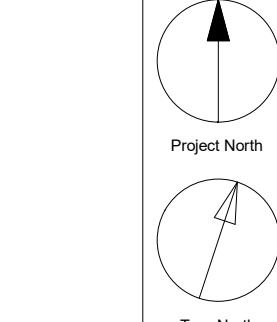
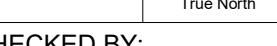
101 Pickering Beach Rd & 235 Bayly St E

Sheet List (SPA)	
Sheet Number	Sheet Name
A000	COVER PAGE
A001	CONTEXT PLAN & STATISTICS
A002	OCB MATRIX
A100	SITE PLAN
A198	LEVEL P2
A199	LEVEL P1
A200	GROUND FLOOR PLAN
A201	LEVEL 02
A202	LEVEL 03
A203	LEVEL 04-06
A204	LEVEL 07
A205	LEVEL 08
A206	LEVEL 09
A207	LEVEL 10
A208	LEVEL 11 (MPH)
A400	BUILDING SECTION 1 (EAST - WEST)
A401	BUILDING SECTION 2 (EAST - WEST)
A402	NORTH & EAST ELEVATION
A403	EAST & SOUTH ELEVATION
A404	SOUTH & WEST ELEVATION
A404.1	NORTH-WEST AND SOUTH-EAST ELEVATIONS
A405	TOWNHOUSE ELEVATIONS
A408	TYPICAL TOWNHOUSE 1to50 ELEVATION
A600	BUILDING MATERIAL BOARD

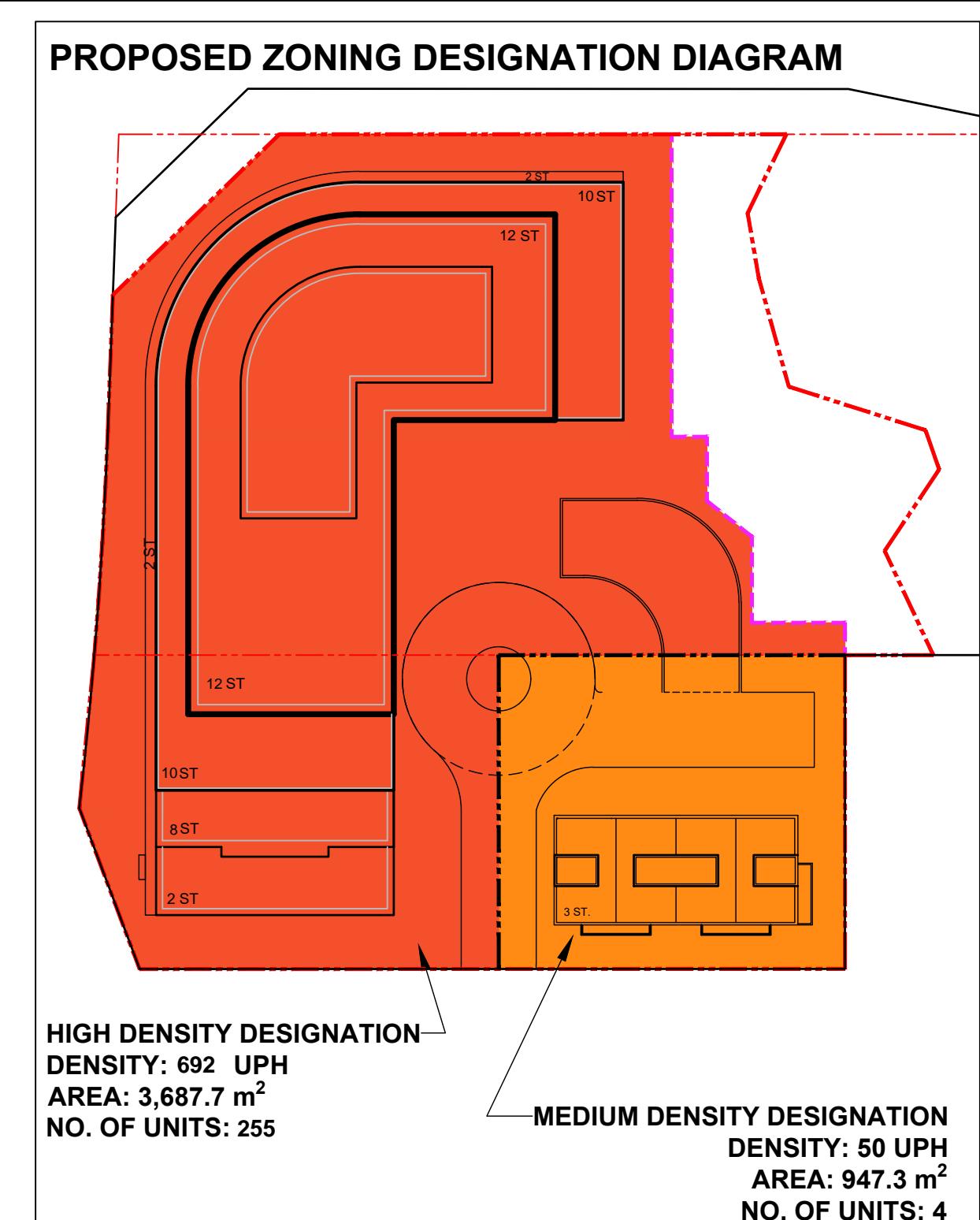
CLIENT	BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3			
COPYRIGHT				
KEY PLAN				
				
ISSUES	No.	DESCRIPTION		
01	ISSUED FOR OPA / REZONING	2021-12-10		
02	ISSUED FOR OPA / REZONING	2022-08-08		
03	ISSUED FOR OPA / REZONING	2022-11-28		
03	ISSUED FOR SPA	2022-12-21		
04	ISSUED FOR SPA	2023-10-19		
05	ISSUED FOR OPA / REZONING	2024-05-01		

Notes:

- For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
- For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For autoturn curv radii and fire access route refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- The building will be sprinklered.
- All Levels interior lighting to meet OBC requirements.
- The method of refuse waste separation will be single chutes with a bin-bone. A waste compactor is provided at ground level.
- Indoor Loading bay (10' x 4'0" w x 4'0" d x 7'5" h) for moving, delivery & general pick up and drop off at ground floor. Refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type C loading space have an unencumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via lift door.
- A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

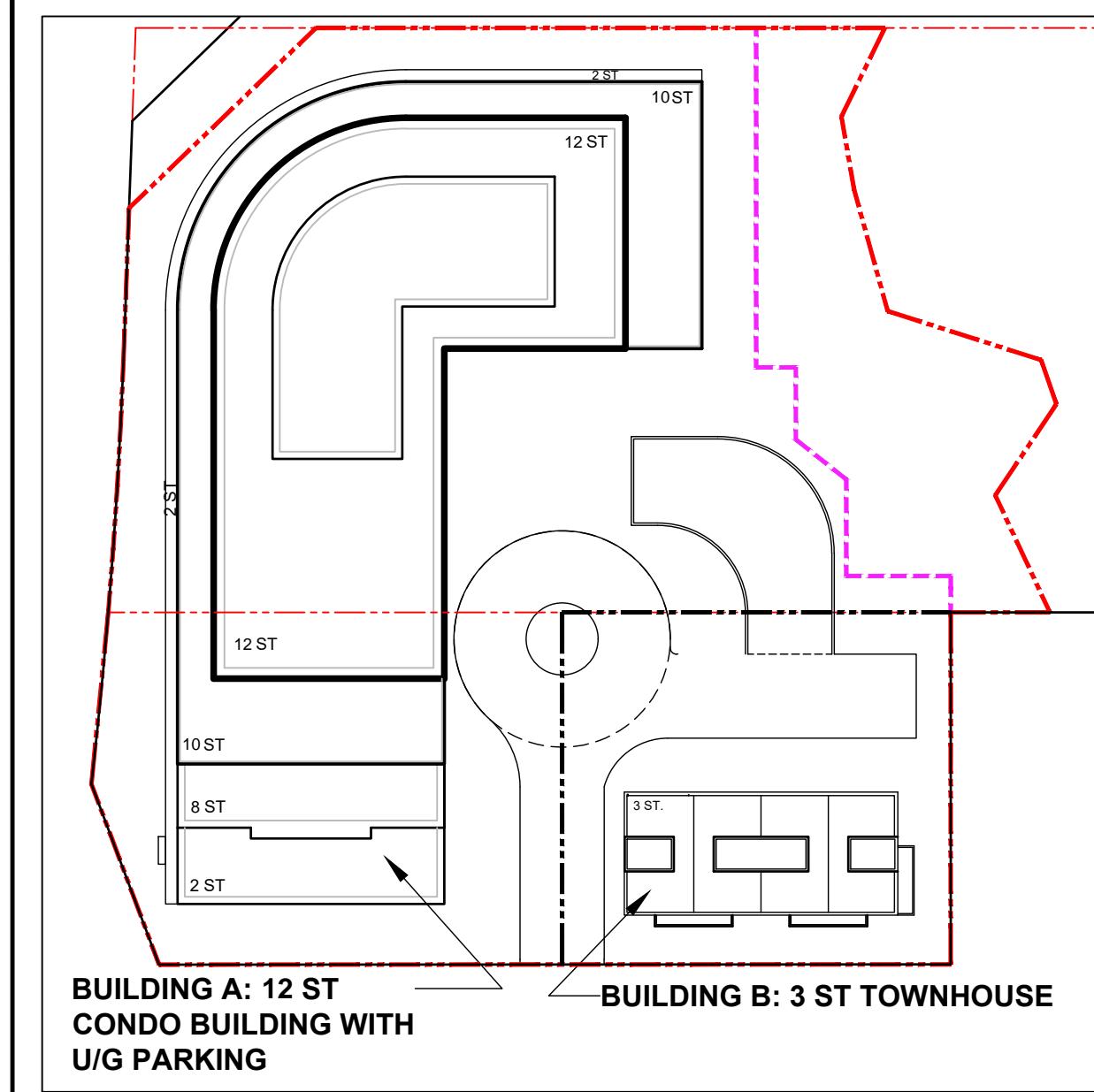
PRIME CONSULTANT		
PROJECT		
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO		
SEAL	  Project North True North	
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
COVER PAGE	DATE	
SHEET NUMBER	PROJ. NO:	
A000	134655	

PROJECT STATISTICS					
<i>m - Denotes Meters</i>		<i>min - Denotes Minimum</i>			
<i>sm - Denotes Square Meters</i>					
PROJECT DATA					
Municipal Address of Subject Lands: 101 Pickering Beach Rd & 235 Bayly St E, Ajax, Ontario					
Zoning: By-Law No. 95-2003					
Proposed Use: Residential	4.00	(GFA + Net Developable Site)			
Proposed F.S.I.:	691.50	Unit per Hectare at high density residential designated area			
Proposed Density:	691.50	Unit per Hectare at medium density residential designated area			
Original Site Area	11360.00 sm				
Ecological Land Deduction	5807.80 sm				
Road Widening Deduction	309.30 sm				
TRCA Buffer Area Deduction	607.50 sm				
Proposed Lot Area:	4635.40 sm (Net Developable Site)				
Proposed Lot Coverage:	49.00 %				
Established Grade:	83.55 m	CDG (Canadian Geodetic Datum) Refer to Survey and Architectural Drawings			
Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 meters.					
BUILDING HEIGHT					
	Condo Building	Townhouse Building			
Height to Top of Residential Roof	37.90 m	Height to Top of Residential Roof			
Height to Top of MPH Roof	41.70 m	Height to Top of Access Staircase			
<i>Note:</i>	Building height excludes mechanical penthouses up to 7.0m, chimney vents, skylights, antennae, elevator machine rooms and parapet walls, and is measured from the established grade.				
No. of Storeys Proposed:	12	3			
PROPOSED AREAS					
Residential GFA****	18,576 sm	**** GFA as defined by Zoning By-law No No. 95-2003			
At Grade Condition:					
Ground Floor Area*	2185.00 sm	* Building Footprint			
Landscaped Open Space**	1578.00 sm	** Soft Landscaping + Hard Landscaping areas			
Paved Surface Area***	872.40 sm	*** Driveway + Parking lots			
Green Roof Area****	762.00 sm	****Level 12 Roof + MPH Roof - Refer to A100 & A208			
RESIDENTIAL UNIT MIX					
Unit Type	Unit Count	Typical Unit Size	Percent		
Studio		As per Arch. Drawings	0%		
1 Bedroom	109	As per Arch. Drawings	42 %		
2 Bedroom	142	As per Arch. Drawings	55 %		
3 Bedroom	4	As per Arch. Drawings	2%		
Townhouse 3B (Separate Building)	4	As per Arch. Drawings	2%		
TOTAL:	259	Units			
AMENITY					
REQUIRED	Area	PROVIDED			
Indoor Amenity (1.0 m ² per unit):	255	Indoor Amenity:	541.00		
Outdoor Amenity (1.0 m ² per unit):	255	Outdoor Amenity:	260.00		
Total Indoor & Outdoor Provided Amenity	510	Total Indoor & Outdoor Provided Amenity	801.00		
PARKING SPACE					
REQUIRED	Parking Spaces	PROVIDED	Parking Spaces		
259 Condo + 4 TH units		255 Condo + 4 TH units			
Total Parking Spaces Required:	309	Total Parking Spaces Provided:	254		
Breakdown of parking space by use allocation:					
Residential Condo (1.03 per Unit)	263	Residential Condo (min 0.88 Per Unit)	225		
Residential Visitors (0.15 Per Unit)	38	Residential Visitors (0.08 Per Unit)	21		
Residential Townhouses (2.0 per Unit)	8	Residential Townhouses (2.0 Per Unit)	8		
No. of parking Spaces to be B/F	9	No. of parking Spaces to be B/F	9		
		4 Typ (A) + 5 Typ (B)			
Breakdown of Provided parking space by location:					
Above Grade Parking	13				
Below Grade Parking	241				
BICYCLE PARKING SPACE					
REQUIRED Bicycle Parking Space	Spaces	PROVIDED Bicycle Parking Space	Spaces		
Long-term Spaces (0.6/unit)	125	Long-term Spaces	125		
Short-term Spaces (0.07/unit)	15	Short-term Spaces	15		
TOTAL:	140	TOTAL:	140		
	128 indoor spaces (Bike Room 1, 2, 3) + 12 outdoor spaces located next to main entrance and bike room 2. Refer to A200				
LOADING SPACE					
Type of Loading Space Provided:	Large Type Loading Bay	Size: 15(L) X 4(W) X 4.5(H) to 7.0(H)			
		200mm Reinforced Concrete Pad for the entire area with 7.0m Ceiling Height. Refer to A200 & A400 Drawings.			
GARBAGE ROOM					
Breakdown of garbage room area:					
Bulk Storage	10 sm				
Residential Garbage Room & Storage	66.30 sm				
Townhouse Garbage Room	12.30 sm				
TOTAL:	88.60 sm				
Waste Management Bins	Bin Type	Total Bins			
Garbage	3cy-bin	5			
Recycle	3cy-bin	6			
Organics	3cy-bin	3			



CONTEXT PLAN
SC 1:2000

CLIENT	BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3																							
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KEY PLAN																								
ISSUES	<table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>ISSUED FOR OPA / REZONING</td> <td>2021-12-10</td> </tr> <tr> <td>02</td> <td>ISSUED FOR OPA / REZONING</td> <td>2022-08-08</td> </tr> <tr> <td>03</td> <td>ISSUED FOR OPA / REZONING</td> <td>2022-11-28</td> </tr> <tr> <td>04</td> <td>ISSUED FOR SPA</td> <td>2022-12-21</td> </tr> <tr> <td>05</td> <td>ISSUED FOR SPA</td> <td>2023-10-19</td> </tr> <tr> <td>06</td> <td>ISSUED FOR OPA / REZONING</td> <td>2024-05-01</td> </tr> </tbody> </table>			No.	DESCRIPTION	DATE	01	ISSUED FOR OPA / REZONING	2021-12-10	02	ISSUED FOR OPA / REZONING	2022-08-08	03	ISSUED FOR OPA / REZONING	2022-11-28	04	ISSUED FOR SPA	2022-12-21	05	ISSUED FOR SPA	2023-10-19	06	ISSUED FOR OPA / REZONING	2024-05-01
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CONTEXT PLAN & PROJECT STATISTICS	DATE 2024-05-01																							
SHEET NUMBER	PROJ. NO: 134655																							
A 001	10mm																							



OBC MATRIX BUILDING A

Ontario Building Code Data Matrix Part 3				Building Code Reference ¹
3.00 Building Code Version				O.Reg 332/12 as amended to O.Reg 89/23
3.01 Project Type				<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change Of Use <input type="checkbox"/> Addition and renovation Description 1 Residential Tower - 12 storey 2 Levels of Below grade parking
3.02 Major Occupancy Classification				Occupancy Group C Use Residential 3.2.2.42.
3.03 Superimposed Major Occupancies				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Description Residential occupancy over U/G parking
3.04 Building Area (m ²)				Existing 0.0 New 1,953 Total 14,759 Description Existing New Total Residential 0 14,759 14,759
3.05 Gross Area (m ²)				Total 0 14,759 14,759 Description Existing New Total Residential 0 0 0
3.06 Mezzanine Area (m ²)				3.2.1.1
3.07 Building Height				Storeys: 12 Residential tower - Storeys above Grade 37.90m + 4.5m (MPH) 2 Residential tower - Storeys below Grade
3.08 High Building				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.6
3.09 Number of Streets/ Firefighter Access				2 Pickering Beach Rd. + Power Valley Ct. 3.2.2.10 & 3.2.5
3.10 Building Classification (Size and Construction - Relative to occupancy)				3.2.2.42 Group C 3.2.2.20-83
3.11 Sprinkler System				<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected Floor Area <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating
3.12 Standpipe System				3.2.9
3.13 Fire Alarm System				<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Single Stage <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None
3.14 Water Service / Supply is adequate				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7
3.15 Construction Type				Restriction <input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non combustible required Actual <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3.16 Importance Category				3.2.2.20-83 & 3.2.1.4 4.1.2.1.(3) & T4.1.2.1.B <input type="checkbox"/> Low <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Minor Storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> High <input type="checkbox"/> Post disaster
3.17 Seismic Hazard Index				(IE Fa Sa (0.2)) = 0.26 Seismic design required for Table 4.1.1.18 item 6 to 21: ((IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 4.1.2.1. (3)
3.18 Occupant Load				Refer to Building Code Report 3.1.17
3.19 Barrier Free Design				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.8
3.20 Hazardous Substances				3.3.1.2 & 3.3.1.19
3.21 Required Fire Resistance Ratings (FRR)				Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating Floors over basement 2h 2h <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Floors 2h 2h <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Mezzanine N/A N/A <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof 0h N/A <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof terrace 2h 2h <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A
3.22 Spatial Separation				Refer to Building Code Report for Spatial Separation Calculation 3.2.3
3.23 Plumbing Fixture Requirements (refer to item 3.25)				A Dwelling Unit is required to be provided with a: Kitchen Sink, Lavatory, Water closet or Drainless composting water closet and bathtub or shower stall
3.24 Energy Efficiency				Compliance Path 6b Climatic Zone 6b
3.25 Notes				Refer also to Building Code Report

¹ All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C

OBC MATRIX BUILDING B

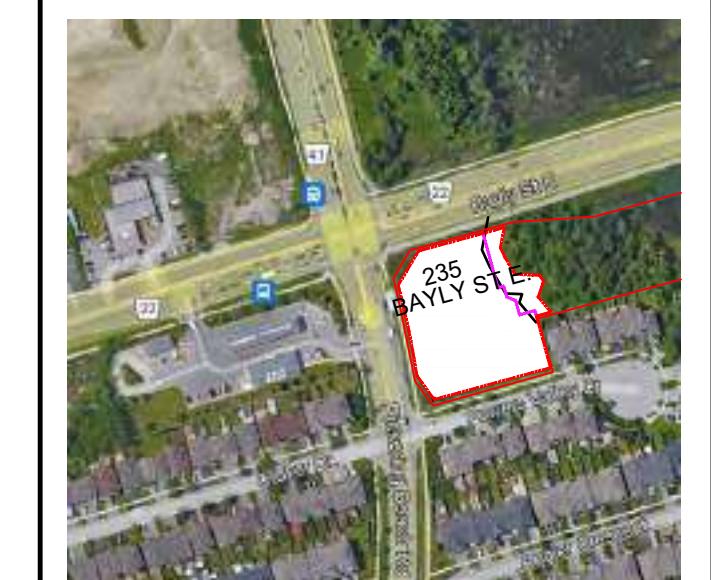
Ontario Building Code Data Matrix Part 9				Building Code Reference ¹
3.00 Building Code Version				O.Reg 332/12 as amended to O.Reg 89/23
3.01 Project Type				<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change Of Use <input type="checkbox"/> Addition and renovation Description 1 Townhouse Building - 3 Storey
3.02 Major Occupancy Classification				Occupancy Group C Use Residential 9.10.2.1.
3.03 Superimposed Major Occupancies				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3.04 Building Area (m ²)				Existing 0.0 New 232 Total 232 Description Existing New Total Residential 0 691 691
3.05 Gross Area (m ²)				Total 0 691 691 Description Existing New Total Residential 0 0 0
3.06 Mezzanine Area (m ²)				9.10.4.1.
3.07 Building Height				Storeys: 3 Townhouse - Storeys above Grade 9.3 + 2.85 (MPH) 9.10.4.1. & 9.10.4.
3.08 High Building				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No N/A
3.09 Number of Streets/ Firefighter Access				1 Power Valley Ct. 9.10.20.
3.10 Building Classification (Size and Construction - Relative to occupancy)				3.2.2.42 Group C 9.10.2.
3.11 Sprinkler System				<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected Floor Area <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating
3.12 Standpipe System				9.10.2.
3.13 Fire Alarm System				<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input checked="" type="checkbox"/> Single Stage <input checked="" type="checkbox"/> Two Stage <input type="checkbox"/> None
3.14 Water Service / Supply is adequate				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.2.5.7
3.15 Construction Type				Restriction <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Non combustible required Actual <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
3.16 Importance Category				3.2.2.20-83 & 3.2.1.4 4.1.2.1.(3) & T4.1.2.1.B <input type="checkbox"/> Low <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Minor Storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> High <input type="checkbox"/> Post disaster
3.17 Seismic Hazard Index				(IE Fa Sa (0.2)) = 0.26 Seismic design required for Table 4.1.1.18 item 6 to 21: ((IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 4.1.2.1. (3)
3.18 Occupant Load				32 9.9.1.3.
3.19 Barrier Free Design				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 3.8
3.20 Hazardous Substances				3.3.1.2 & 3.3.1.19
3.21 Required Fire Resistance Ratings (FRR)				Horizontal Assembly Rating Supporting Assembly (H) Noncombustible in lieu of rating Floors over basement 2h 2h <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A Floors 0 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Mezzanine 0 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof 0 0 <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Roof terrace 0 0 <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A
3.22 Spatial Separation				Refer to Building Code Report for Spatial Separation Calculation
3.23 Plumbing Fixture Requirements (refer to item 3.25)				A Dwelling Unit is required to be provided with a: Kitchen Sink, Lavatory, Water closet or Drainless composting water closet and bathtub or shower stall
3.24 Energy Efficiency				Compliance Path 6b Climatic Zone 6b
3.25 Notes				Refer also to Building Code Report

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BAYLY 101 LP
 210 - 101 DUNCAN MILL RD.
 TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES

No. DESCRIPTION

04 ISSUED FOR SPA 2023-10-19

05 ISSUED FOR OPA / REZONING 2024-05-01

Notes:

- For landscape & lighting information, refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
- For grading and servicing information, refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For autoturn, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- The building will be sprinklered.
- All levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor UnLoading bay 15(0) x 4(0)w x 4(5)h to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.
- A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 0086218073, having an elevation = 93.644 metres.

PRIME CONSULTANT
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE
PROJECT OBC MATRIX

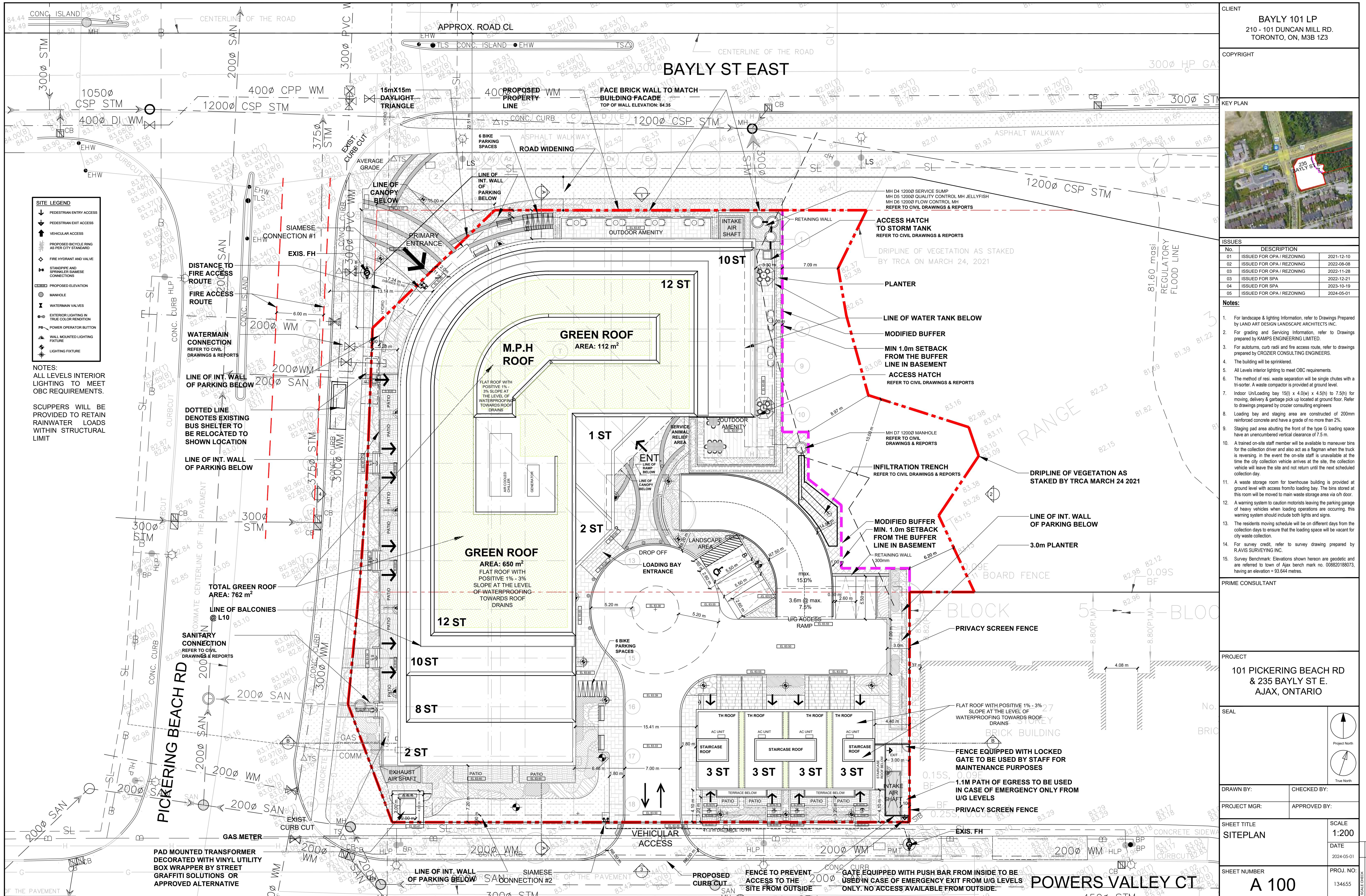
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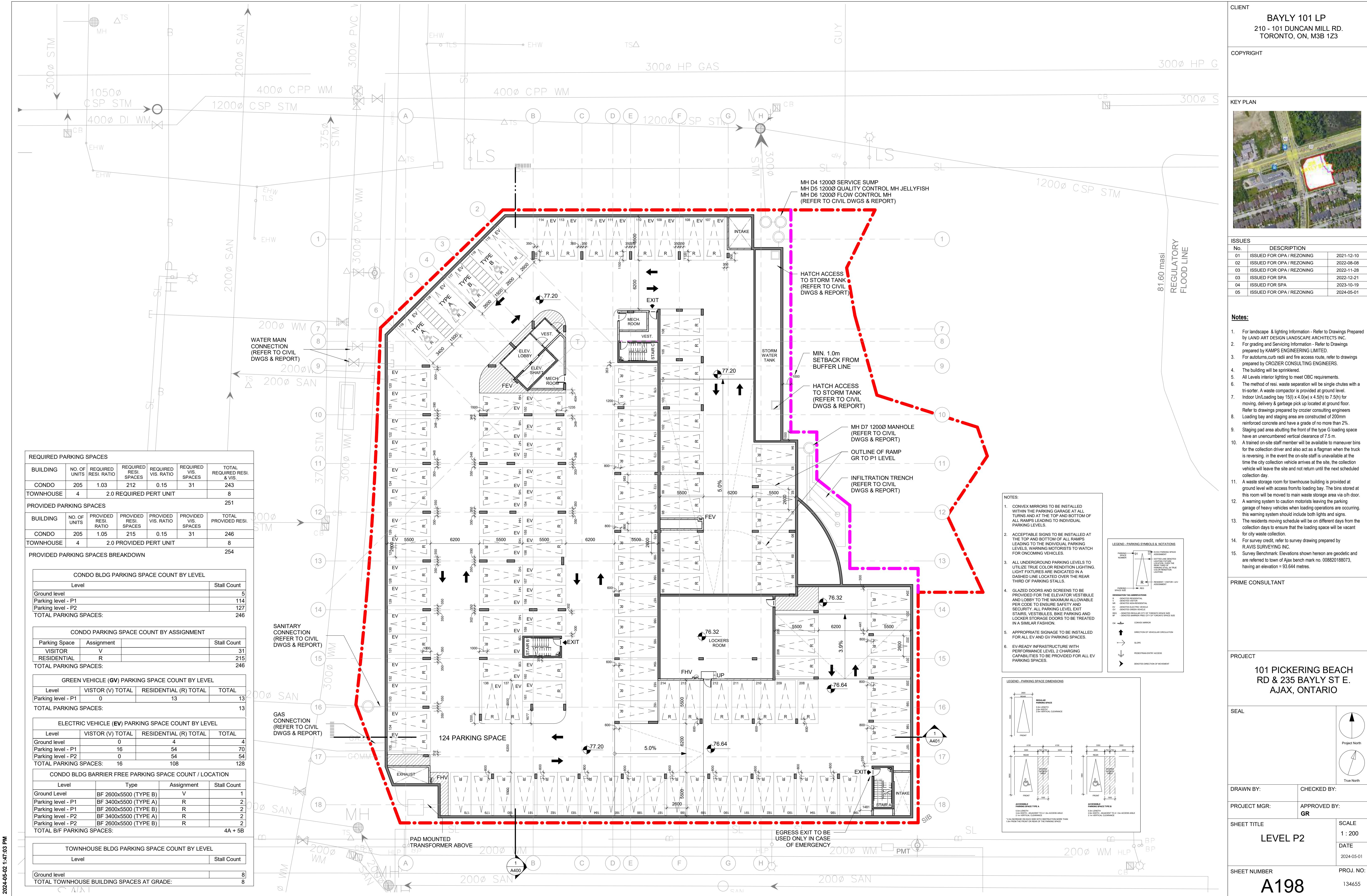
DATE
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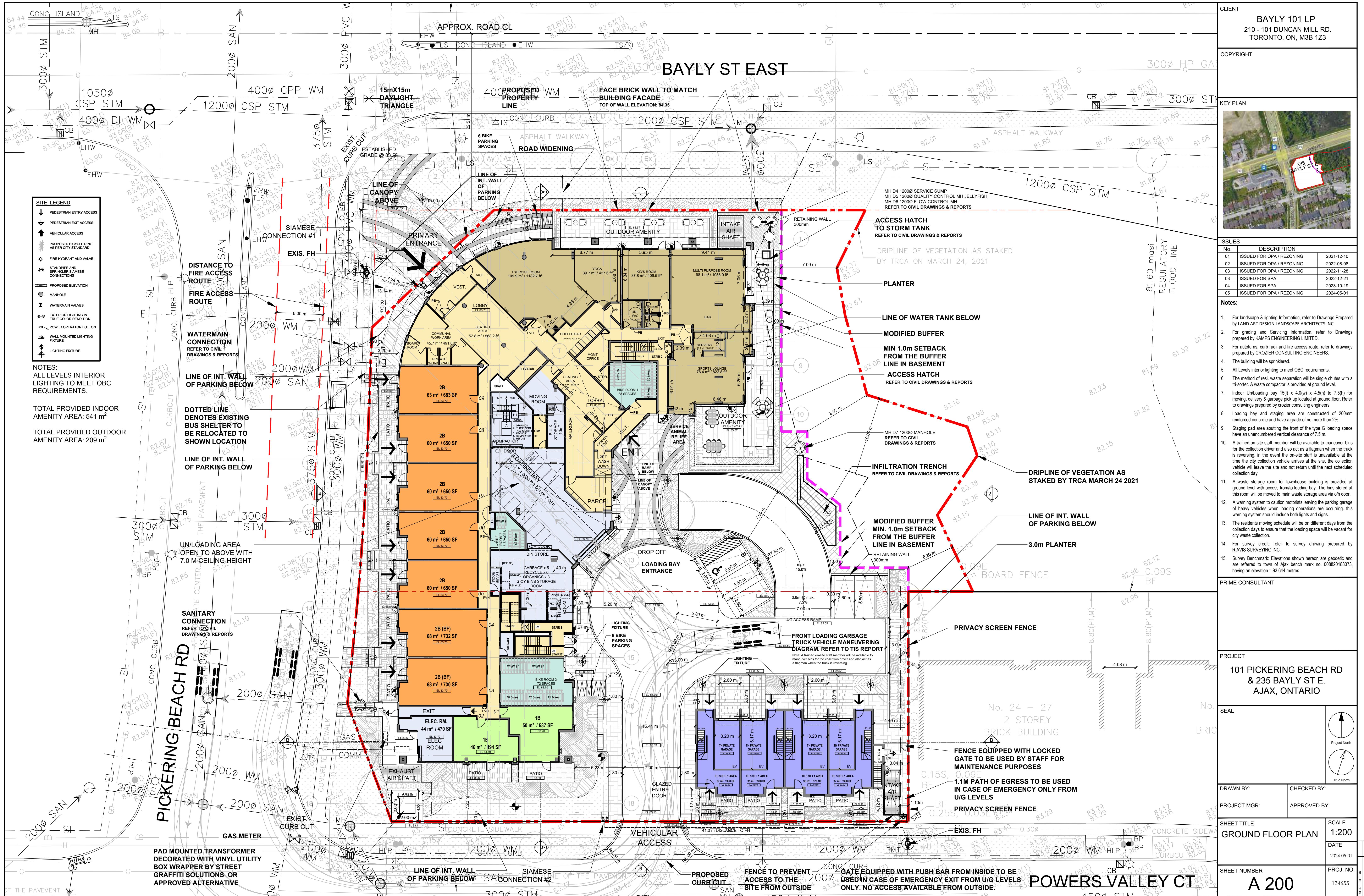
SHEET NUMBER
A 002

PROJ. NO:

134655







KEY PLAN



ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

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For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

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All Levels interior lighting to meet OBC requirements.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor.

Refer to drawings prepared by crozier consulting engineers

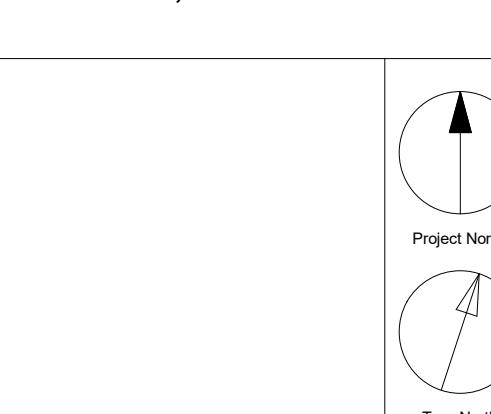
Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

0. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
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2. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
3. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
4. For survey credit, refer to survey drawing prepared by R.AVIS SURVEYING INC.
5. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO**



DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:

SHEET TITLE _____

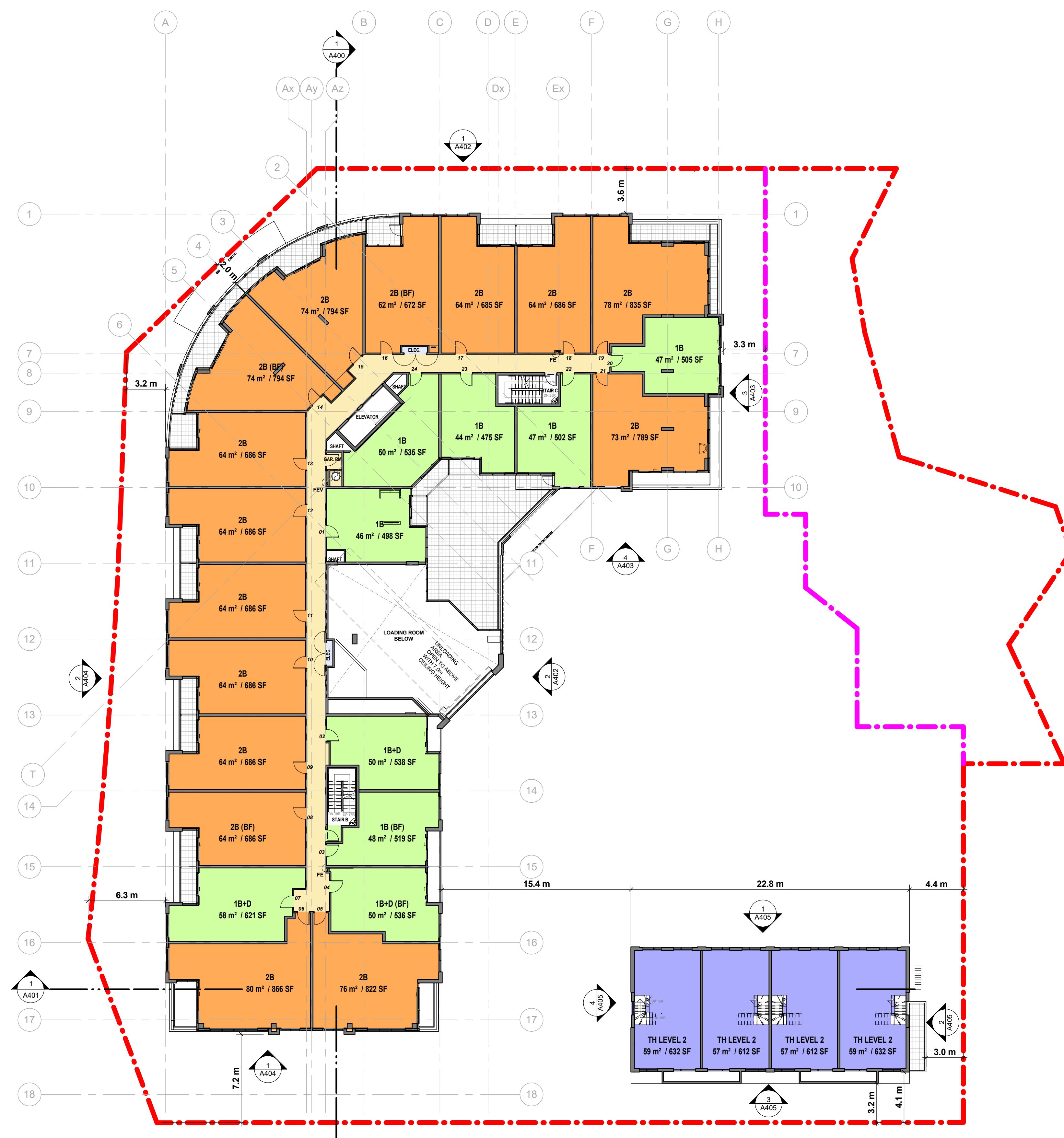
LEVEL 02

DATE _____

A201 134

A201

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KEY PLAN



ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

The building will be sprinklered.

All Levels interior lighting to meet OBC requirements.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor.

Refer to drawings prepared by crozier consulting engineers

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

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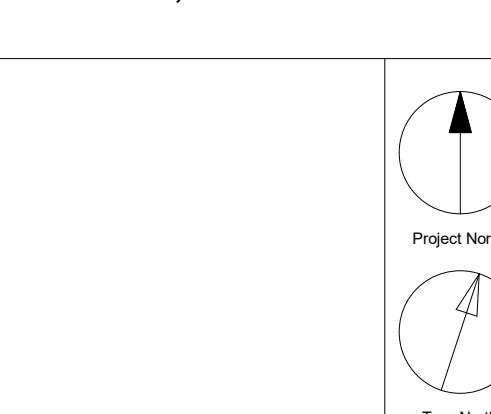
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PRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
AIAJ, ONTARIO**



True N

11. *What is the primary purpose of the following statement?*

GR

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DATE

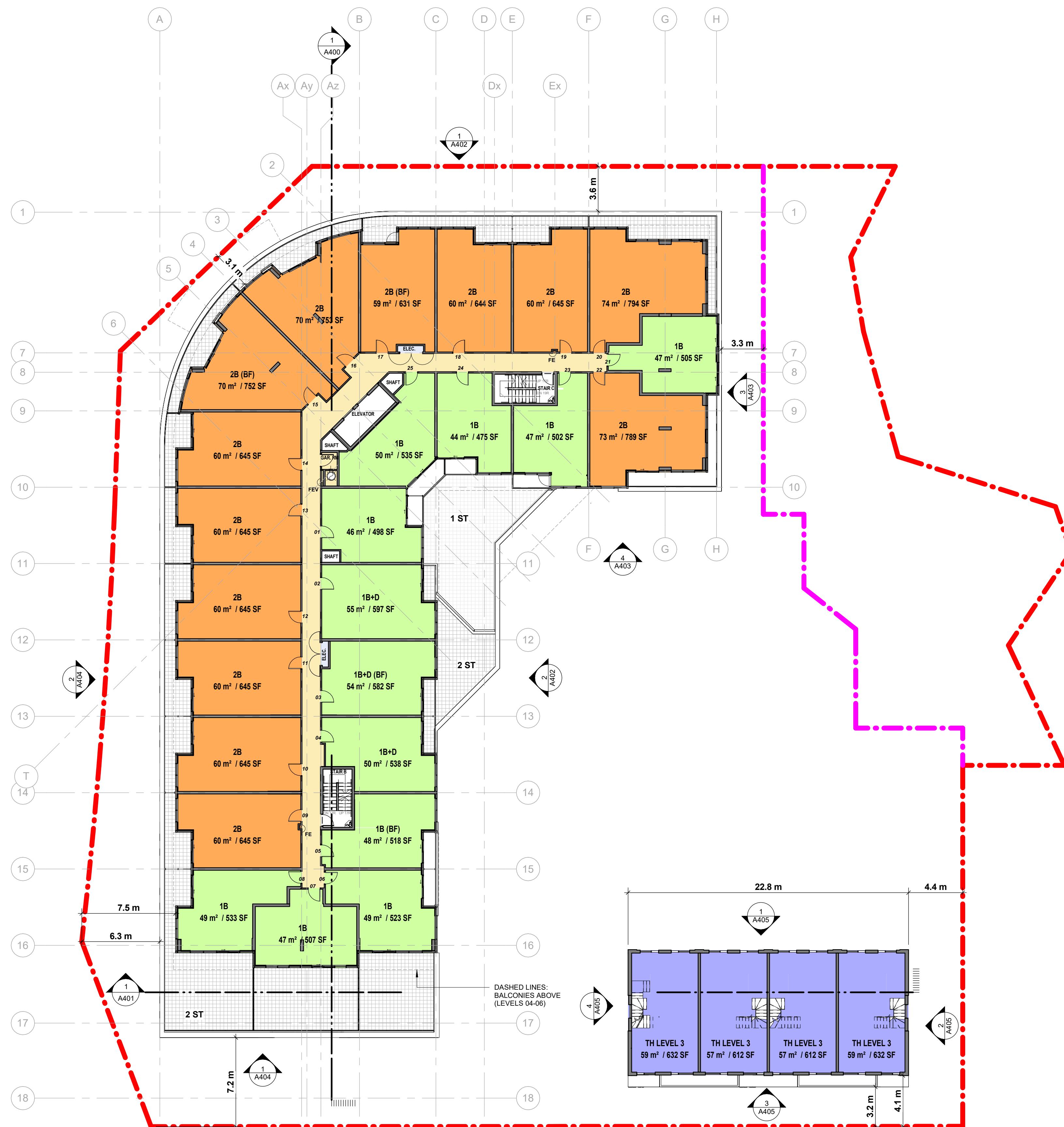
2024-0

HEET NUMBER **A202** PROJECT NUMBER **1346**

1202

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For more information, contact the Office of the Vice President for Research and the Office of the Vice President for Student Affairs.





ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

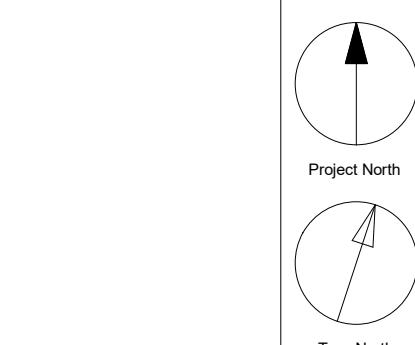
Notes:

- For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
- For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For automotive curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
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- The method of rest, waste separation will be single chutes with a bin-sitter. A waste compactor is provided at ground level.
- Indoor Loading bay (10' x 4' 0") x 4' (5') to 7.5(m) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- Loading bay and parking areas are constructed of 200mm reinforced concrete piers and have a grade of no more than 2%.
- Staging pad area abutting the front of the type C leading space have an unencumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL



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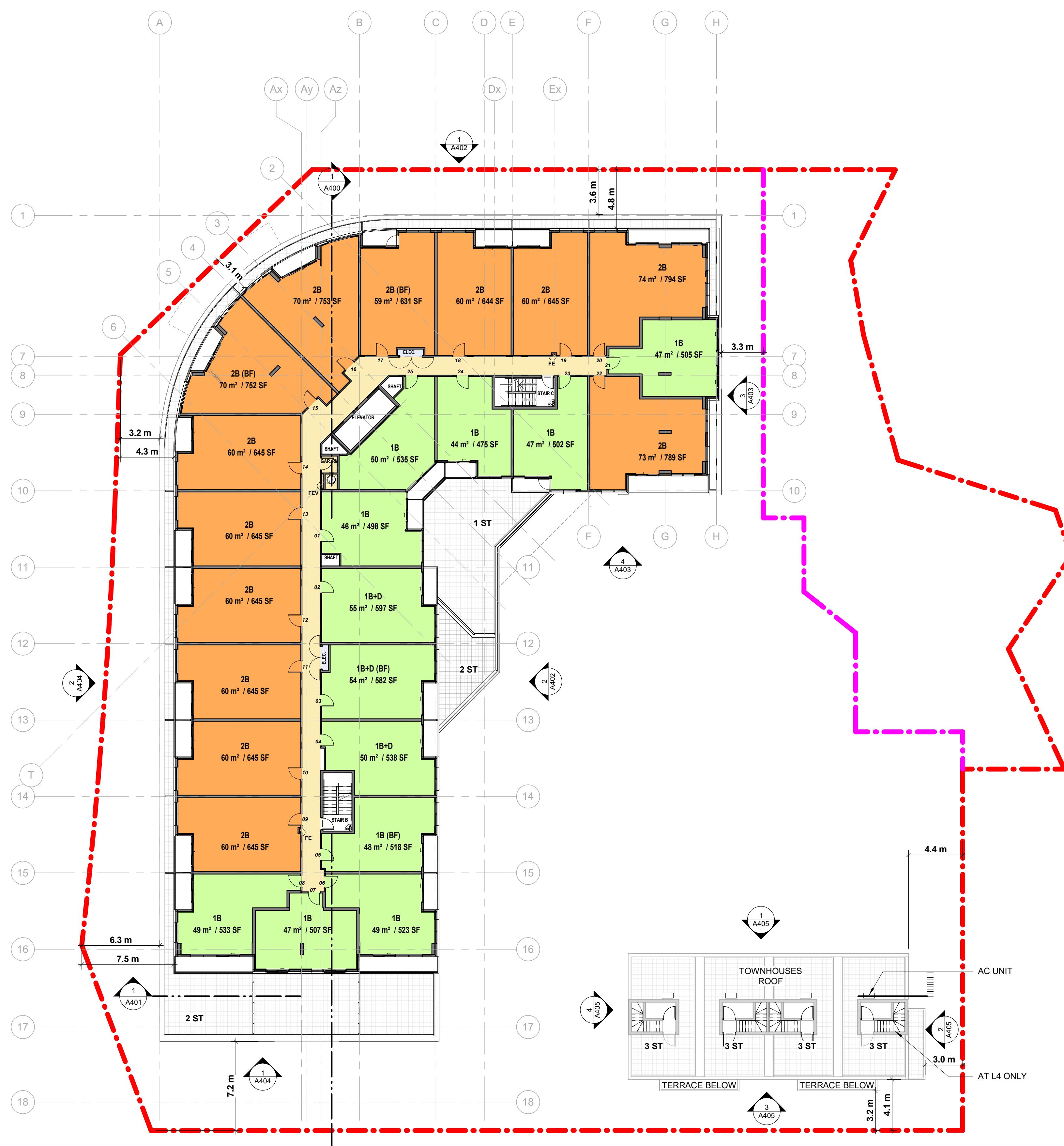
PROJECT MGR: APPROVED BY:
GR

SCALE
1 : 200

DATE
2024-05-01

PROJ. NO:
A203

SCALE CHECK
1:1



KEY PLAN



ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

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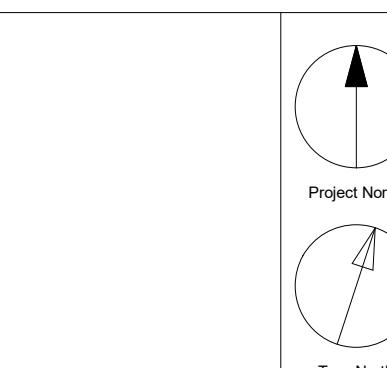
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PRIME CONSULTA

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
AIAJ, ONTARIO**



DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:

HEET TITLE SCALE

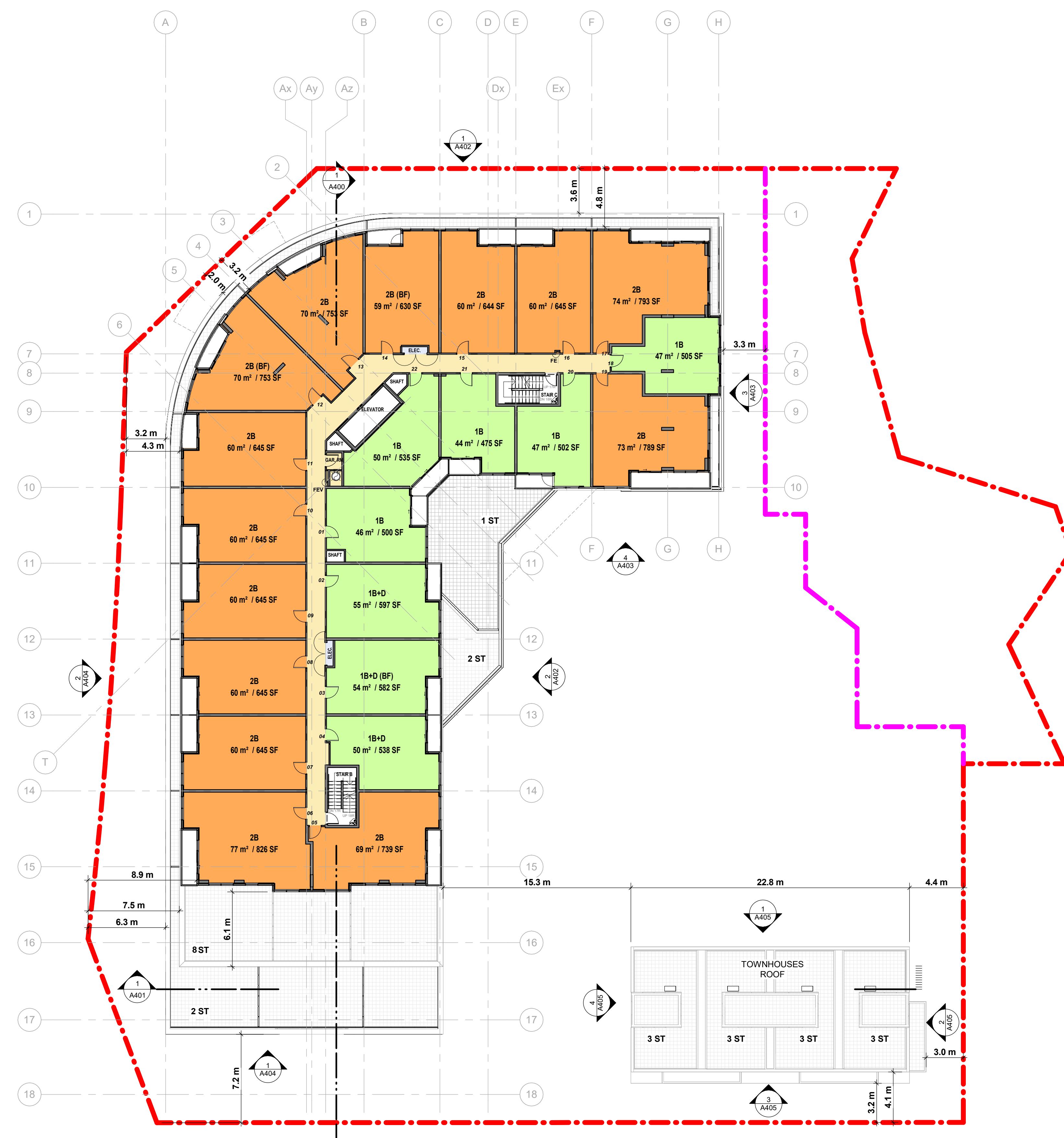
LEVEL 10

2024-05

HEET NUMBER **A205** PROJ. 1346

A203

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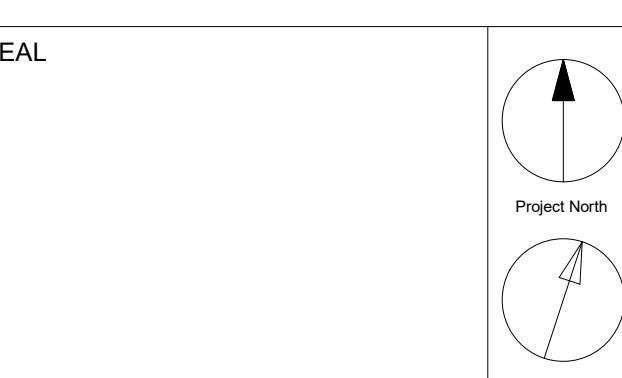
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



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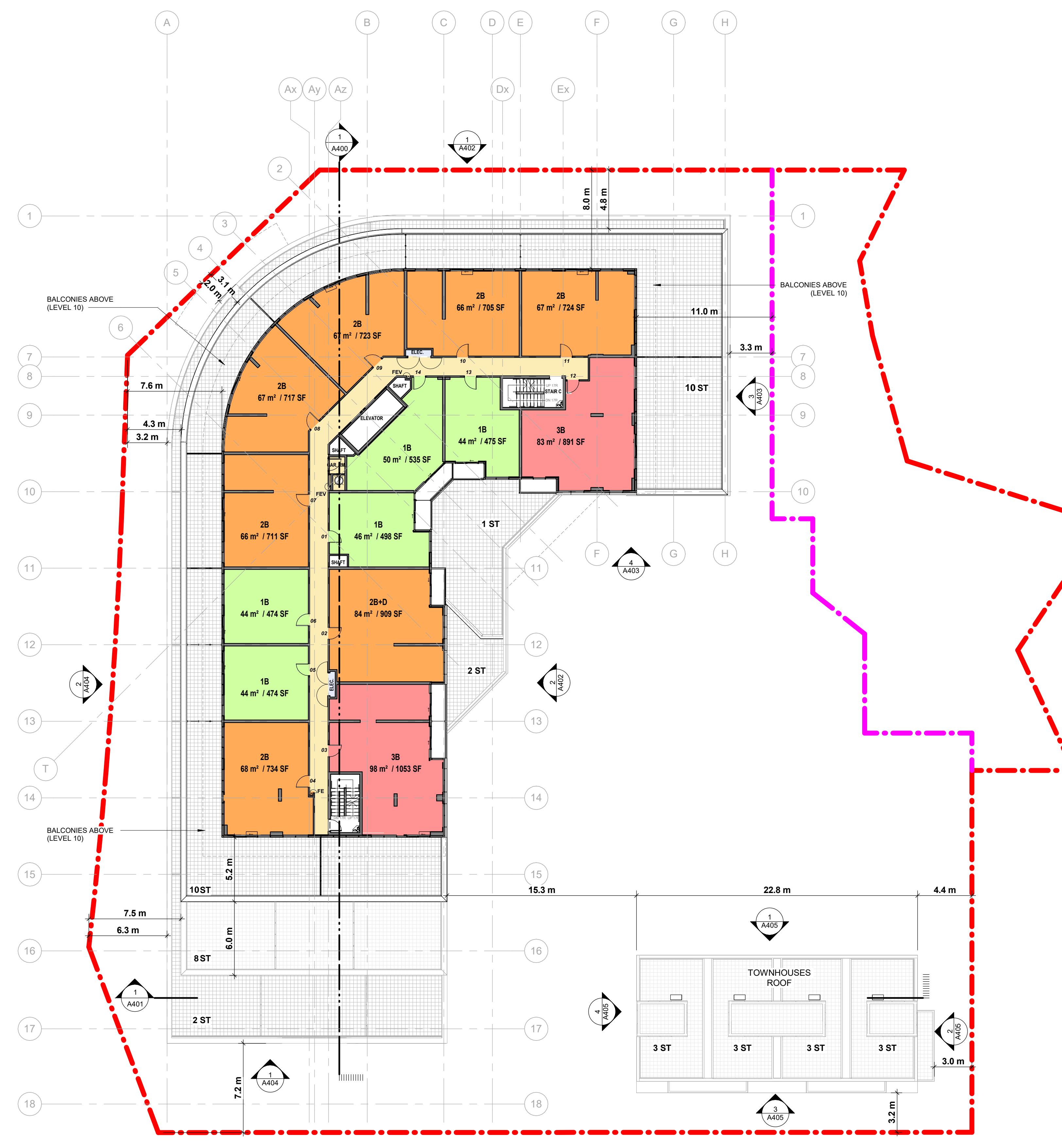
PROJECT MGR: APPROVED BY:
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SCALE
1 : 200

DATE
2024-05-01

PROJ. NO:
134655

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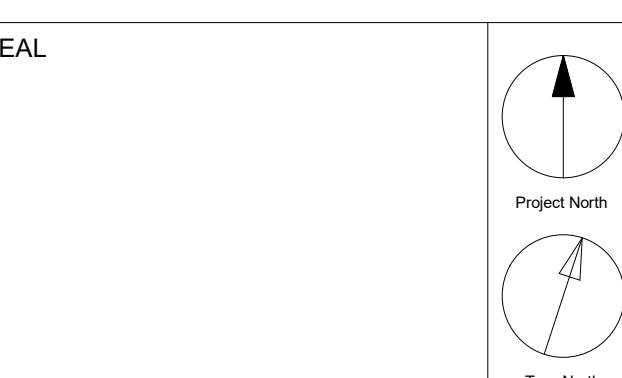
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
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04	ISSUED FOR SPA	2023-10-19
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- Survey Benchmark: Elevation shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



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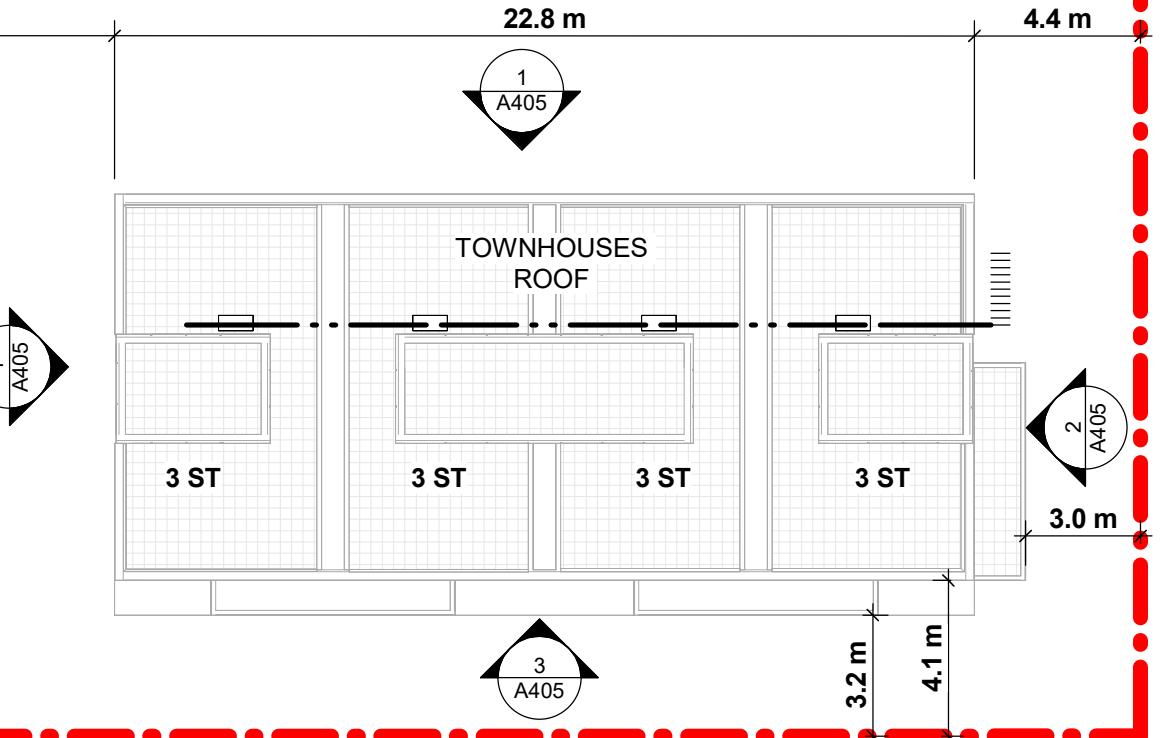
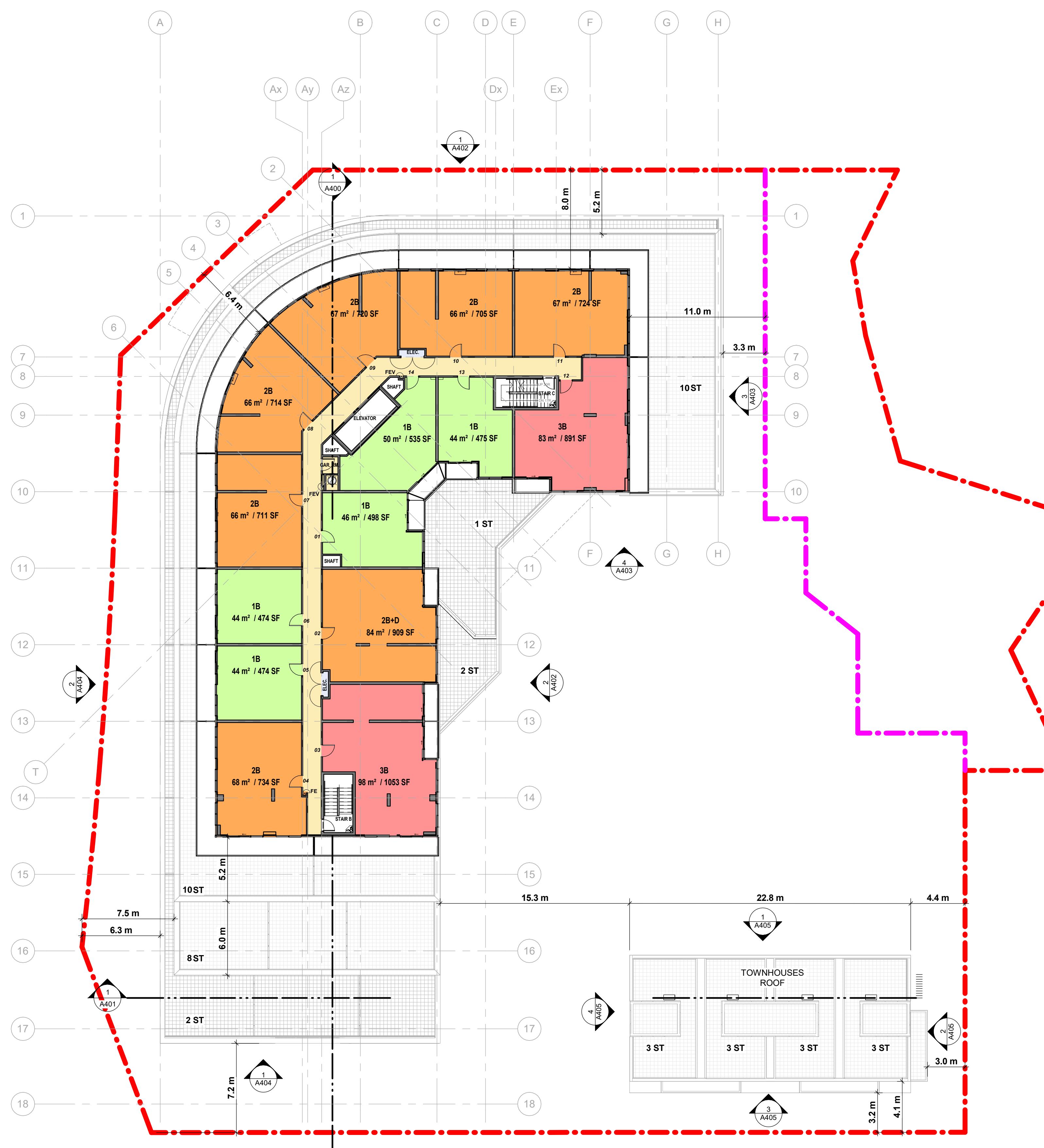
PROJECT MGR: APPROVED BY:
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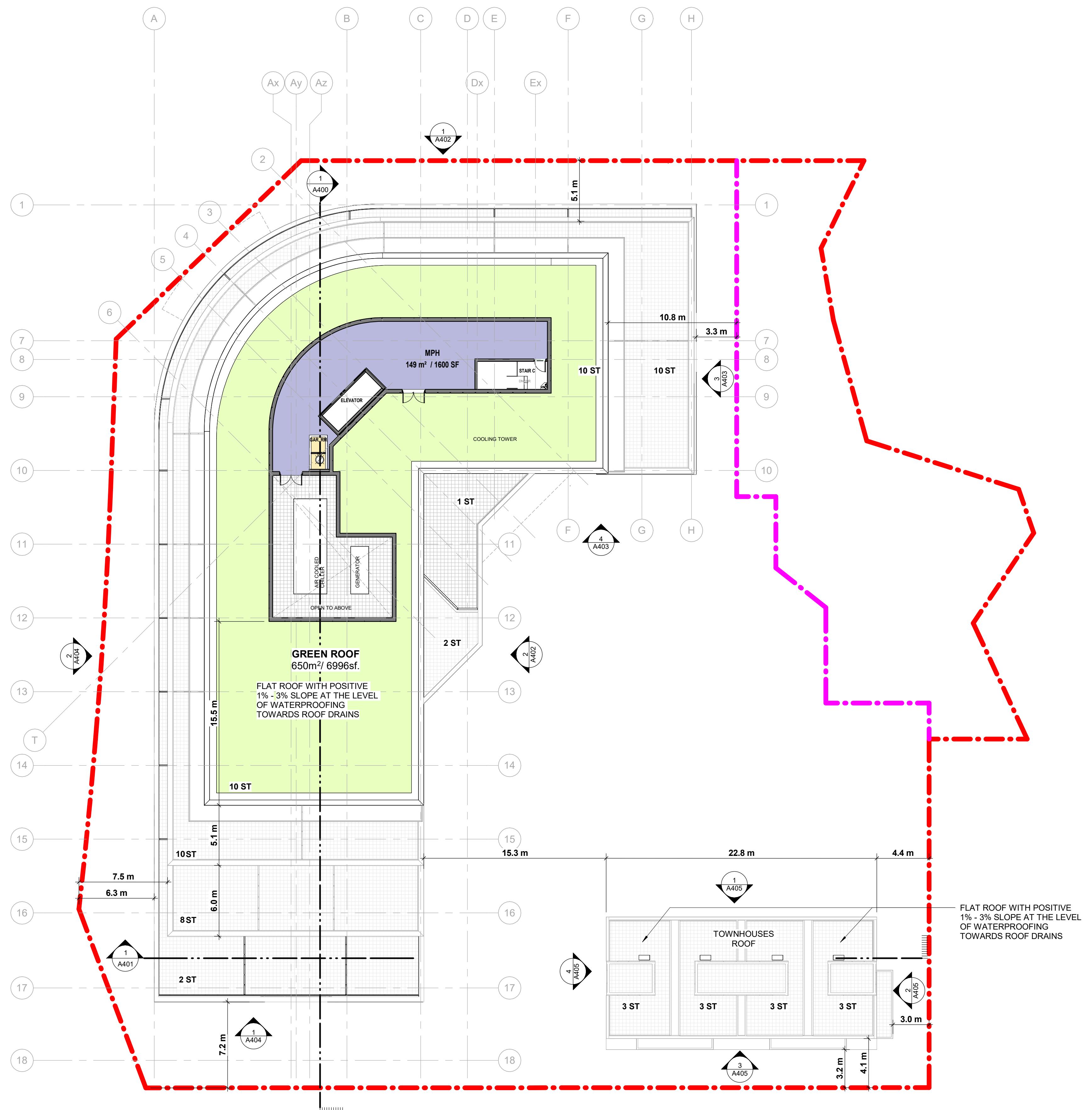
SCALE
1 : 200

DATE
2024-05-01

PROJ. NO.:
134655

SCALE CHECK
1:1





CLIENT	BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3	
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KEY PLAN		
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
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Notes:		
1.	For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.	
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6.	The method of rest, waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.	
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14.	For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.	
15.	Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.	
PRIME CONSULTANT		
PROJECT		
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO		
SEAL		
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY:	
SHEET TITLE	SCALE	
LEVEL 13 (MPH)	1 : 200	
DATE	2024-05-01	10mm
SHEET NUMBER	PROJ. NO:	
A208	134655	1 in

CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON M2B 1Z3

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KEY PLAN



ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-1
02	ISSUED FOR OPA / REZONING	2022-08-0
03	ISSUED FOR OPA / REZONING	2022-11-2
03	ISSUED FOR SPA	2022-12-2
04	ISSUED FOR SPA	2023-10-1
05	ISSUED FOR OPA / REZONING	2024-05-0

Notes:

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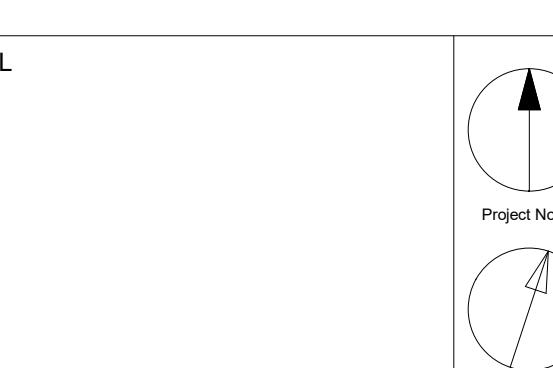
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CRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
AIAK, ONTARIO**



DRAWN BY: _____ CHECKED _____

www.b11.org

PROJECT MGR: APPROVE

GR

HEET TITLE

BUILDING SECTION 1

BUILDING SECTION I (EAST - WEST)

(EAST - WEST)

11. *What is the primary purpose of the following statement?*

HEET NUMBER

A400

A400

This architectural cross-section diagram illustrates the building's structure and layout across various levels. The vertical axis on the left shows levels from P2 at the bottom to LEVEL 14 (MPH ROOF) at the top. The horizontal axis shows the building's width and various rooms and structural elements.

PROPERTY LINE: Indicated by red dotted lines on the left and right sides of the diagram.

80% OF R.O.W.: Indicated by a pink dotted line sloping upwards from the bottom right.

Dimensions:

- LEVEL 14 (MPH ROOF): 125.43 m
- LEVEL 13 Main Roof: 121.58 m
- LEVEL 12: 118.63 m
- LEVEL 11: 115.68 m (Width: 4.8 m)
- LEVEL 10: 112.73 m
- LEVEL 09: 109.78 m
- LEVEL 08: 106.54 m
- LEVEL 07: 103.59 m
- LEVEL 06: 100.35 m
- LEVEL 05: 97.4 m
- LEVEL 04: 94.45 m
- LEVEL 03: 91.5 m
- LEVEL 02: 88.2 m (Width: 7.0 m)
- LEVEL 01: 83.7 m
- GRADE: 83.55 m
- P1: 79.95 m
- P2: 77.2 m

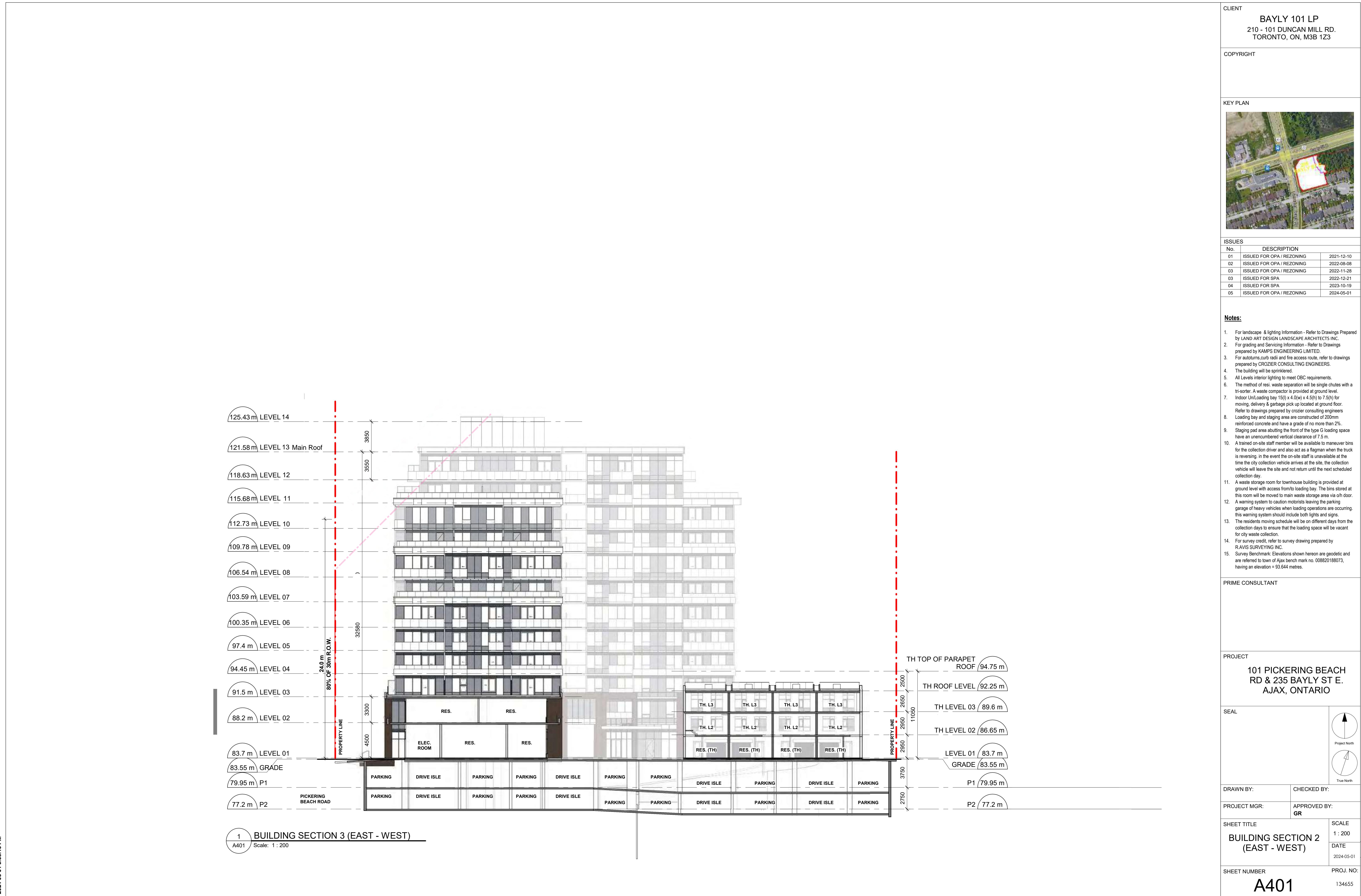
Rooms and Structural Elements:

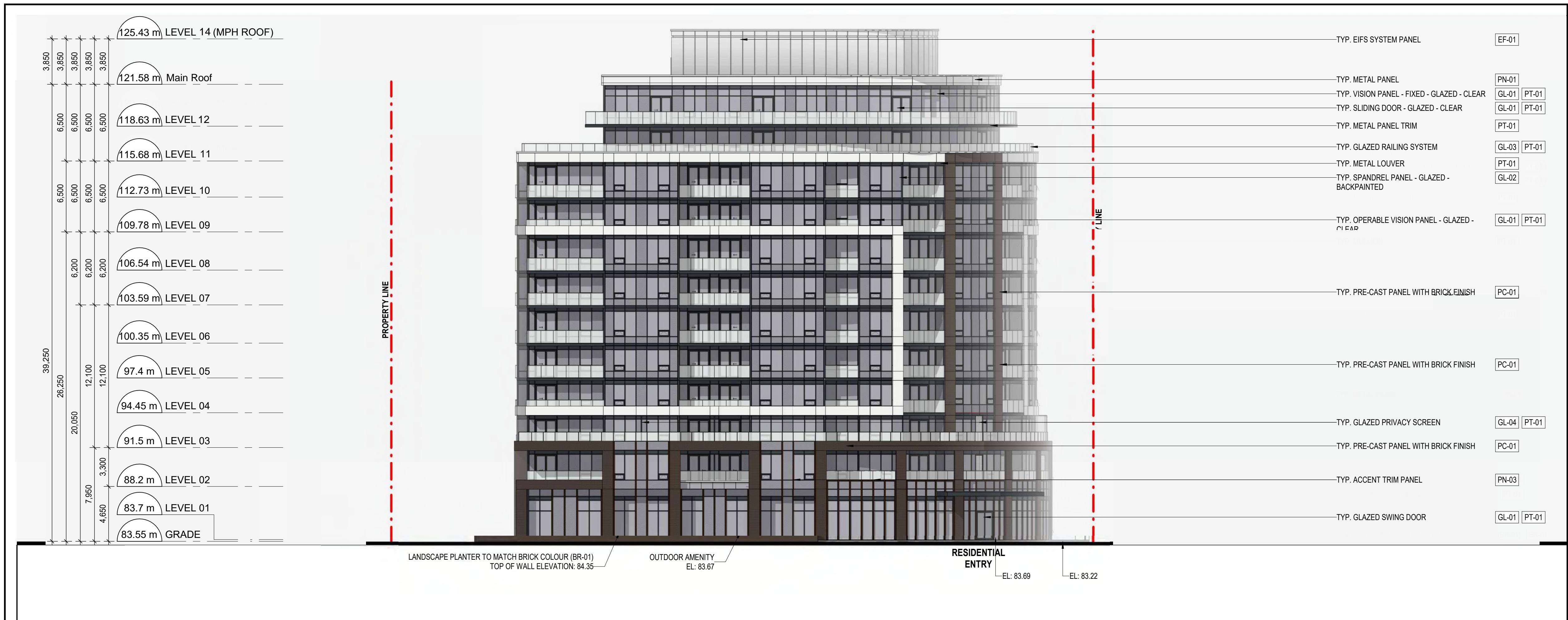
- LEVEL 14 (MPH ROOF):** MECH. PENTHOUSE
- LEVEL 13 Main Roof:** Stair B
- LEVEL 12:** RES.
- LEVEL 11:** RES. (Width: 4.8 m), Stair B
- LEVEL 10:** RES.
- LEVEL 09:** RES.
- LEVEL 08:** RES.
- LEVEL 07:** RES.
- LEVEL 06:** RES.
- LEVEL 05:** RES.
- LEVEL 04:** RES.
- LEVEL 03:** RES. LOBBY, ELEVATOR, COMPACTOR ROOM, STAIR B, BIKE STORAGE
- LEVEL 02:** RES., LOADING BAY (Width: 7.0 m), STORAGE BIN ROOM, BIKE STORAGE
- LEVEL 01:** RES. LOBBY, ELEVATOR, DRIVE ISLE, PARKING, COMPACTOR ROOM, STAIR B, BIKE STORAGE
- GRADE:** PARKING, DRIVE ISLE, ELEVATOR, PARKING
- P1:** PARKING, DRIVE ISLE, ELEVATOR, PARKING
- P2:** PARKING, DRIVE ISLE, ELEVATOR, PARKING

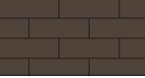
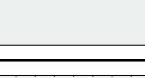
Annotations:

- LOADING BAY WITH 7.0 m width.
- DOTTED LINE DENOTES SLOPED.
- DOTTED LINE DENOTES SLOPED.

1
A400 Scale: 1 : 200





MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES		
No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-
02	ISSUED FOR OPA / REZONING	2022-08-
03	ISSUED FOR OPA / REZONING	2022-11-
03	ISSUED FOR SPA	2022-12-
04	ISSUED FOR SPA	2023-10-
05	ISSUED FOR OPA / REZONING	2024-05-

Notes:

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

The building will be sprinklered.

All Levels interior lighting to meet OBC requirements.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor.

Refer to drawings prepared by crozier consulting engineers

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

0. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

1. A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.

2. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.

3. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

4. For survey credit, refer to survey drawing prepared by R.AVIS SURVEYING INC.

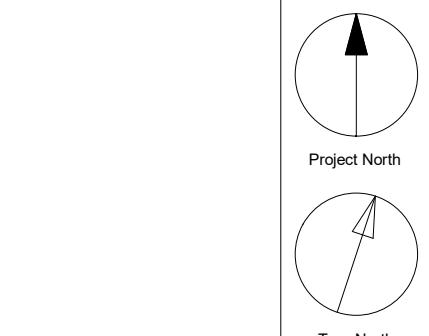
5. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH RD & 235 BAYLY ST E. AIAJ, ONTARIO

ANSWER



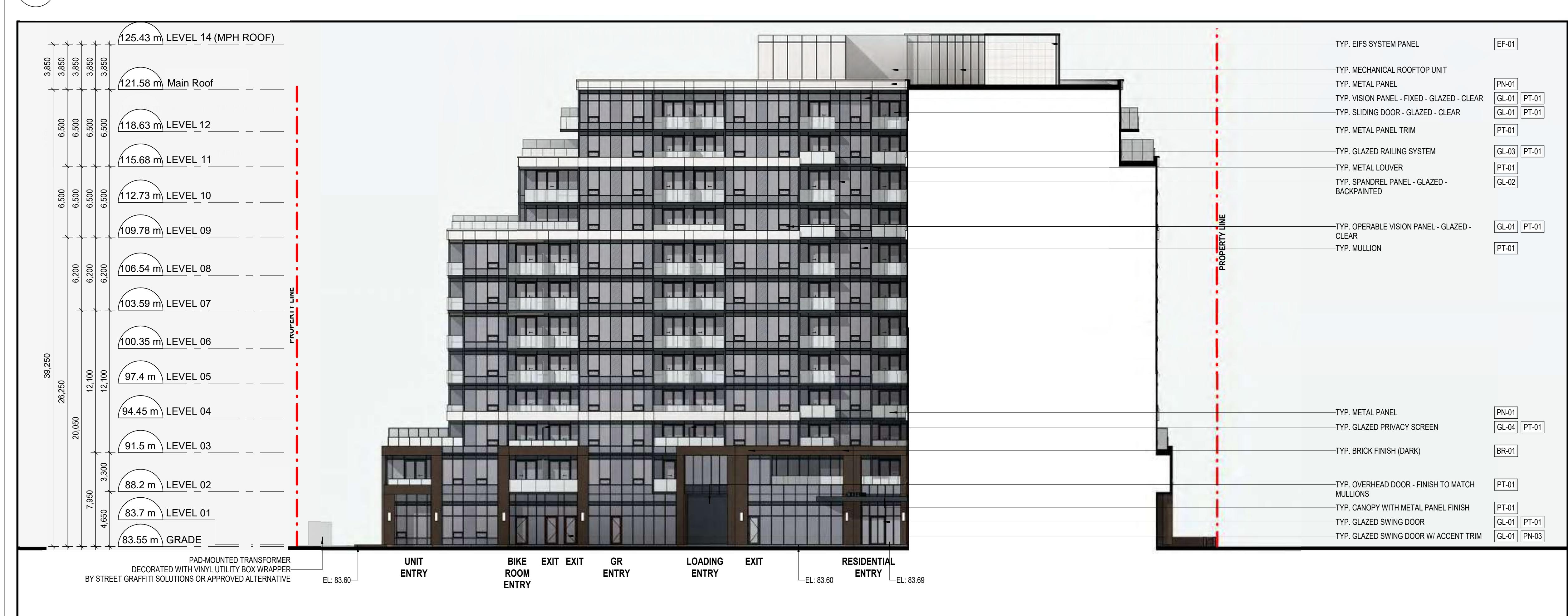
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PROJECT MGR:	APPROVED BY: GR
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NORTH & EAST ELEVATION

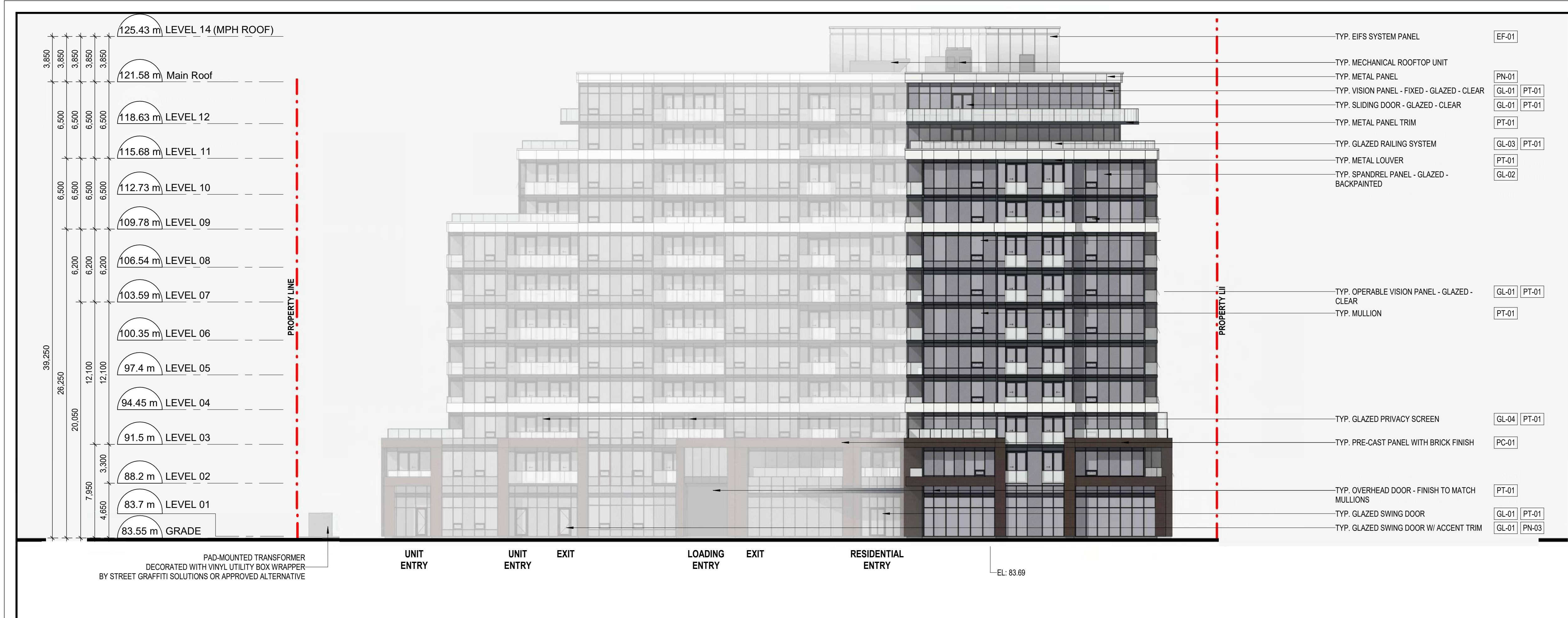
LIFFET NUMBER

HEET NUMBER **A402** PROJ. NO. 1346



2024-05-01 6:59:58 PM

2 ELEVATION - EAST (PART 1)

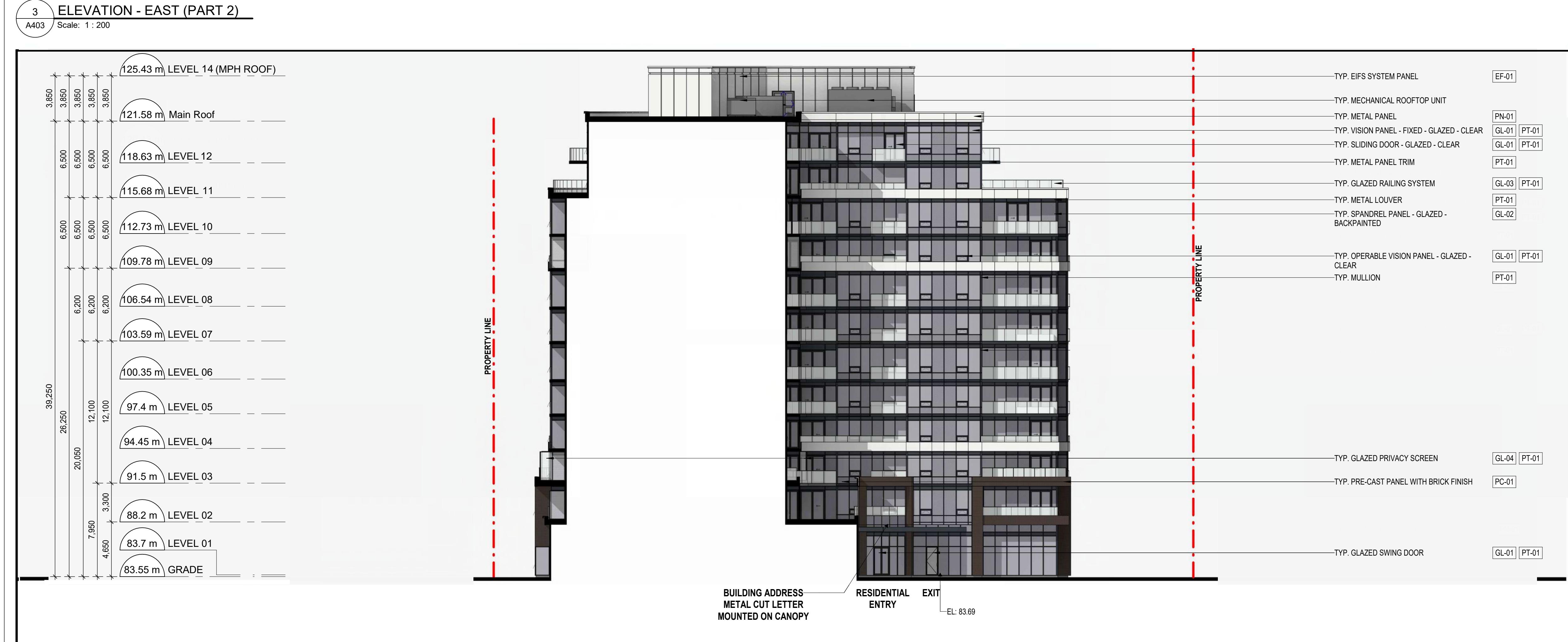


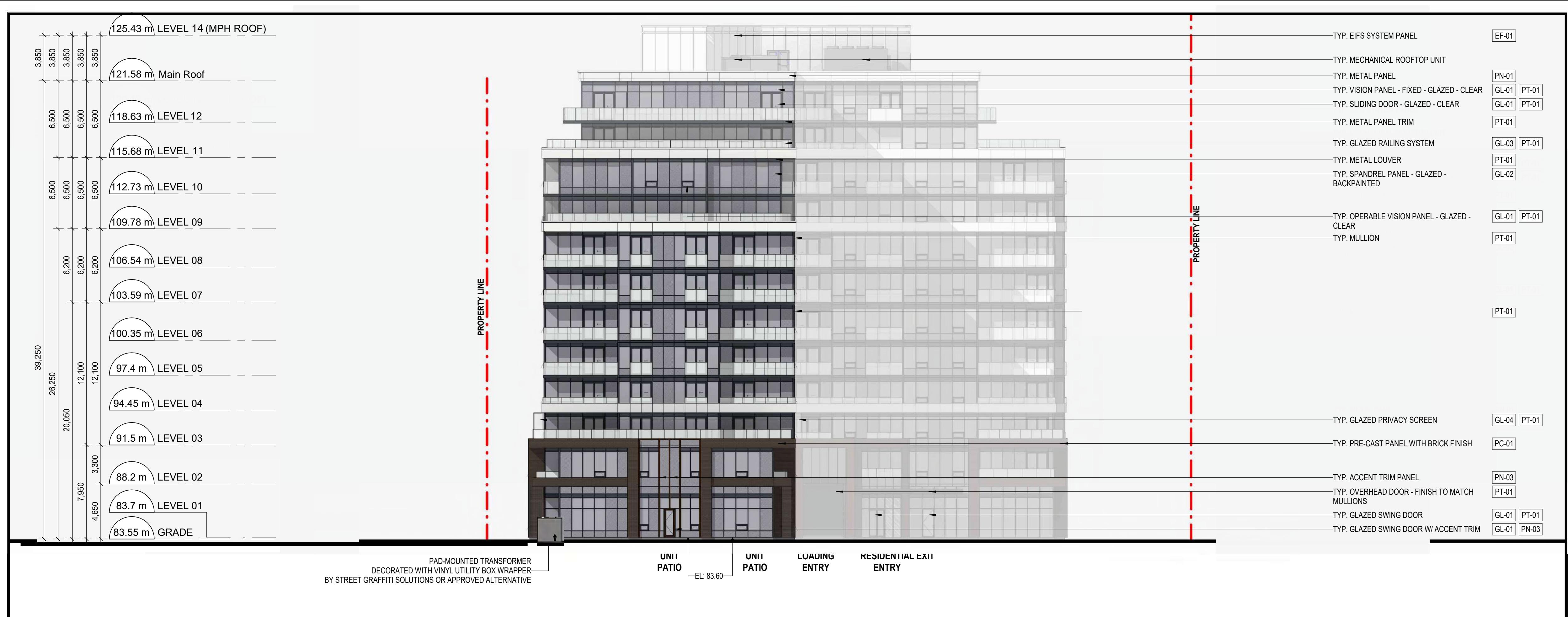
MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR
GL-02		TYP. SPANDEL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

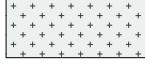
CLIENT	BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3			
COPYRIGHT				
KEY PLAN				
ISSUES				

1. For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
2. For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
3. For autotoms, curbs radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
4. The building will be sprinklered.
5. All Levels interior lighting to meet OBC requirements.
6. The method of refuse waste separation will be single chutes with a bin-bone. A waste compactor is provided at ground level.
7. Indirect Loading bay (10' x 4' 0") x 4 (5' 0" to 7' 5") for moving, delivery & general pick up at the ground floor. Refer to drawings prepared by Foster Consulting Engineers.
8. Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
9. Staging pad area abutting the front of the type C leading space have an unencumbered vertical clearance of 7.5 m.
10. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
11. A waste storage room for townhouse building is provided at ground level with access from the loading bay. The bins stored at this room will be moved to main waste storage area via lift door.
12. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.
13. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
14. For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
15. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT				
PROJECT				
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO				
SEAL				
DRAWN BY:	CHECKED BY:			
PROJECT MGR:	APPROVED BY:	GR		
SHEET TITLE	SCALE	As indicated		
EAST & SOUTH ELEVATION		DATE 2024-05-01		
SHEET NUMBER	PROJ. NO:	134655		





MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



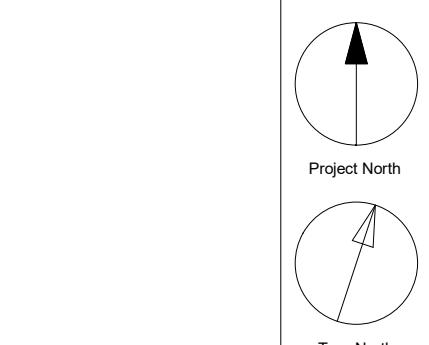
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No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-
02	ISSUED FOR OPA / REZONING	2022-08-
03	ISSUED FOR OPA / REZONING	2022-11-
03	ISSUED FOR SPA	2022-12-
04	ISSUED FOR SPA	2023-10-
05	ISSUED FOR OPA / REZONING	2024-05-

Notes:

1. For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
2. For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
3. For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
4. The building will be sprinklered.
5. All Levels interior lighting to meet OBC requirements.
6. The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
7. Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
8. Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
9. Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
10. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
11. A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.
12. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
13. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
14. For survey credit, refer to survey drawing prepared by R.AVIS SURVEYING INC.
15. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
A JAY, ONTARIO**

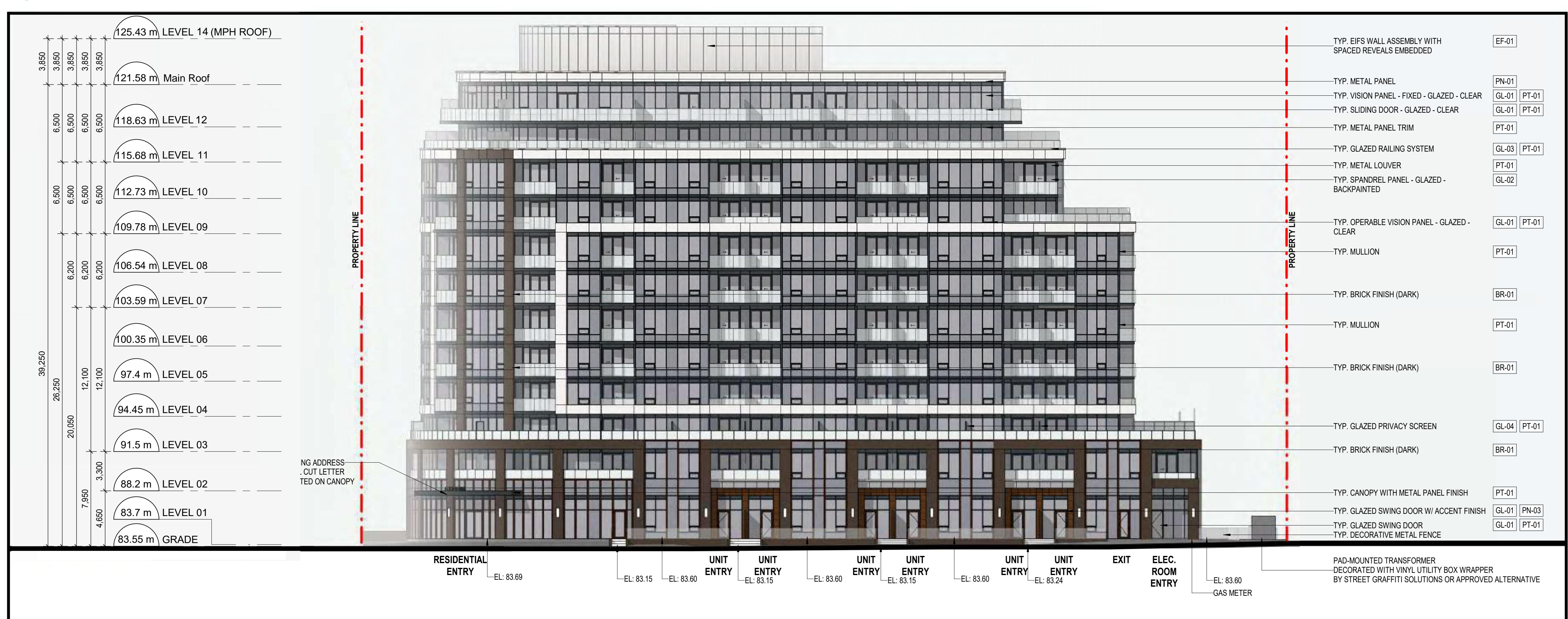


DRAWN BY:	CHECKED BY:	True N
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PROJECT MGR:	APPROVED BY: GR
SHEET TITLE	SCALE SOUTH & WEST ELEVATION As indicated DATE 2024-01-15

SHEET NUMBER

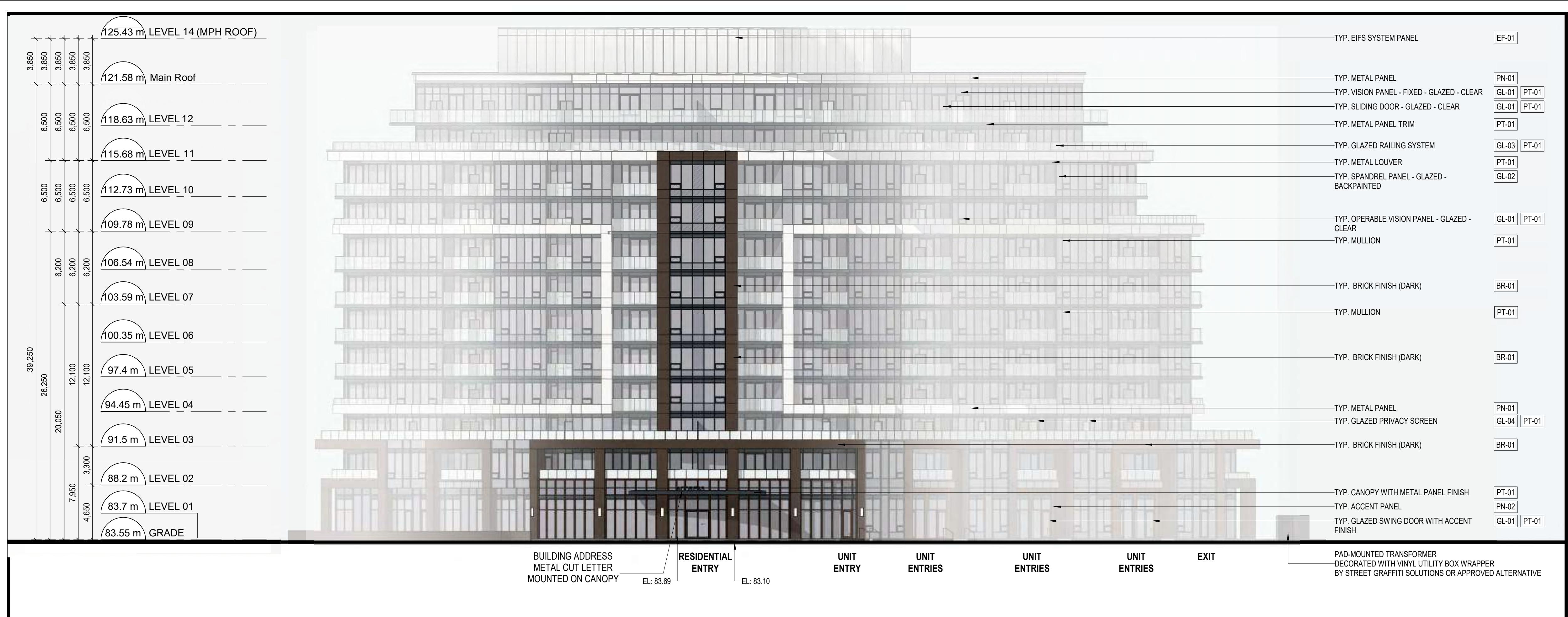
SHEET NUMBER A404 **PROJ.** 1346



2024-05-01 7:03:17 PM

2 ELEVATION - WEST

A404 Scale: 1 : 200



TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES		
No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-
02	ISSUED FOR OPA / REZONING	2022-08-
03	ISSUED FOR OPA / REZONING	2022-11-
03	ISSUED FOR SPA	2022-12-
04	ISSUED FOR SPA	2023-10-
05	ISSUED FOR OPA / REZONING	2024-05-

Notes:

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

The building will be sprinklered.

All Levels interior lighting to meet OBC requirements.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor.

Refer to drawings prepared by crozier consulting engineers

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

0. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

1. A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.

2. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.

3. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

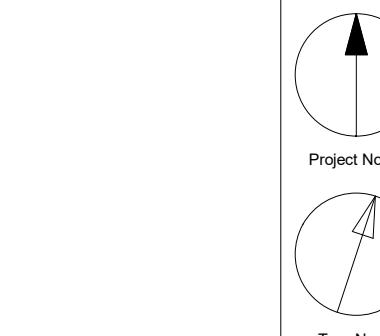
4. For survey credit, refer to survey drawing prepared by R.AVIS SURVEYING INC.

5. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

CRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
A.JAX, ONTARIO**

1000



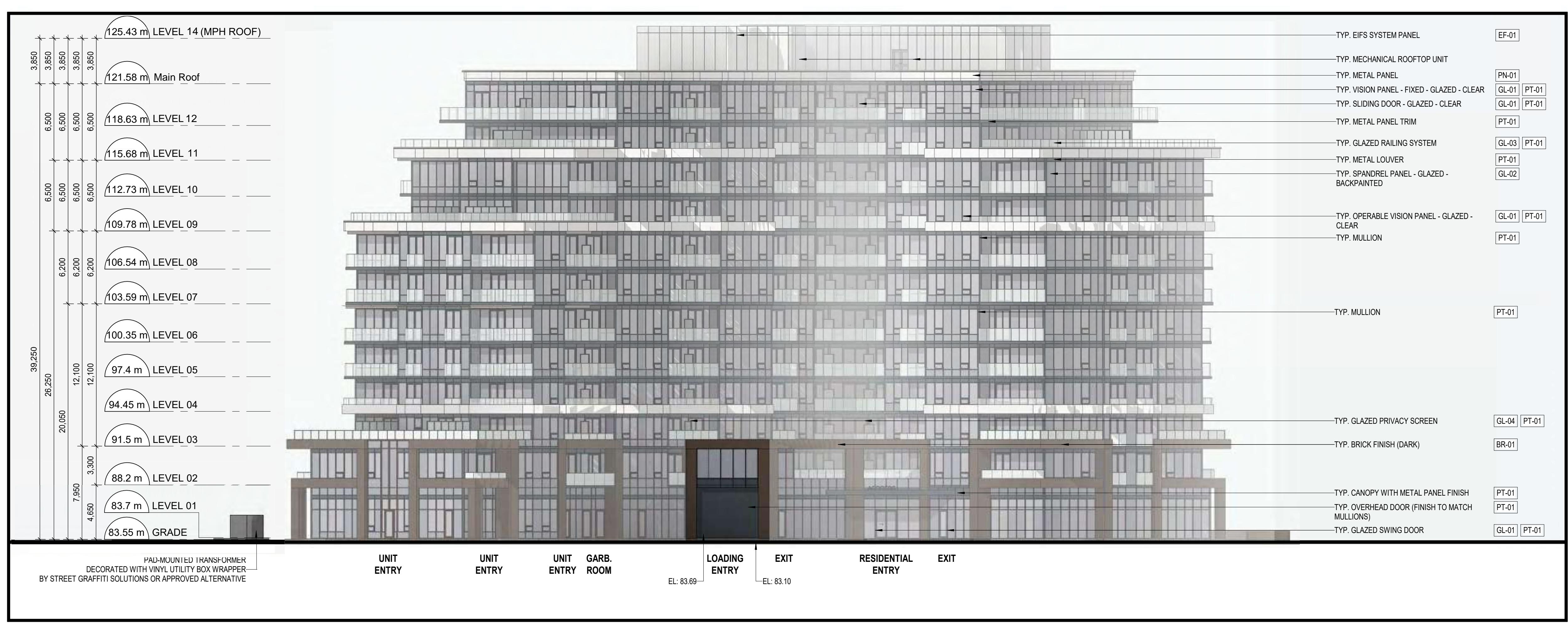
PAWN BY: _____ | CHECKED BY: _____

PROJECT MGR:	APPROVED BY: GR
SHEET TITLE	
NORTH-WEST AND SOUTH-EAST ELEVATIONS	
SCALE As indicated	
DATE 2024-0	

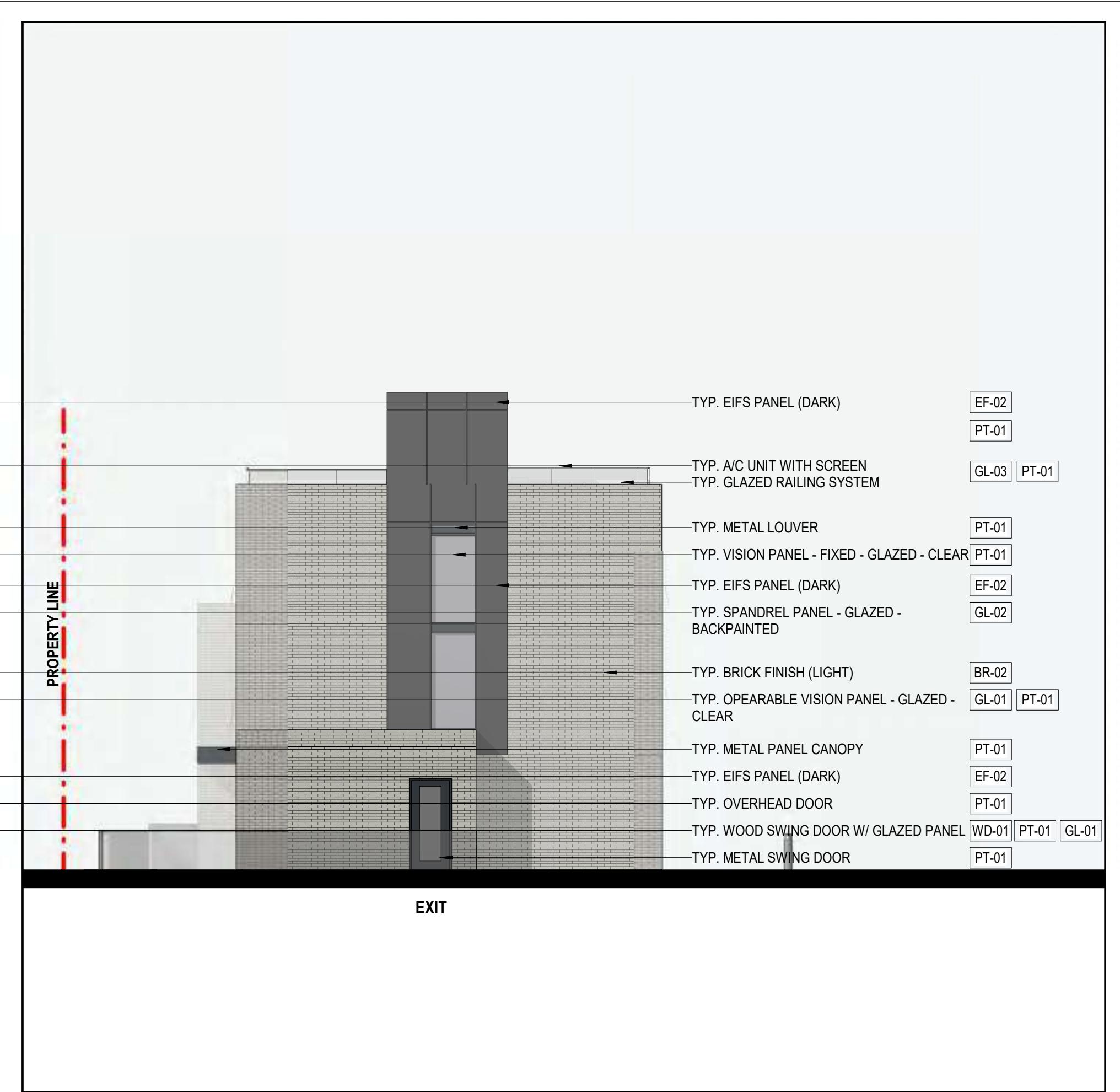
HEET NUMBER

PROJ. NO:

1346

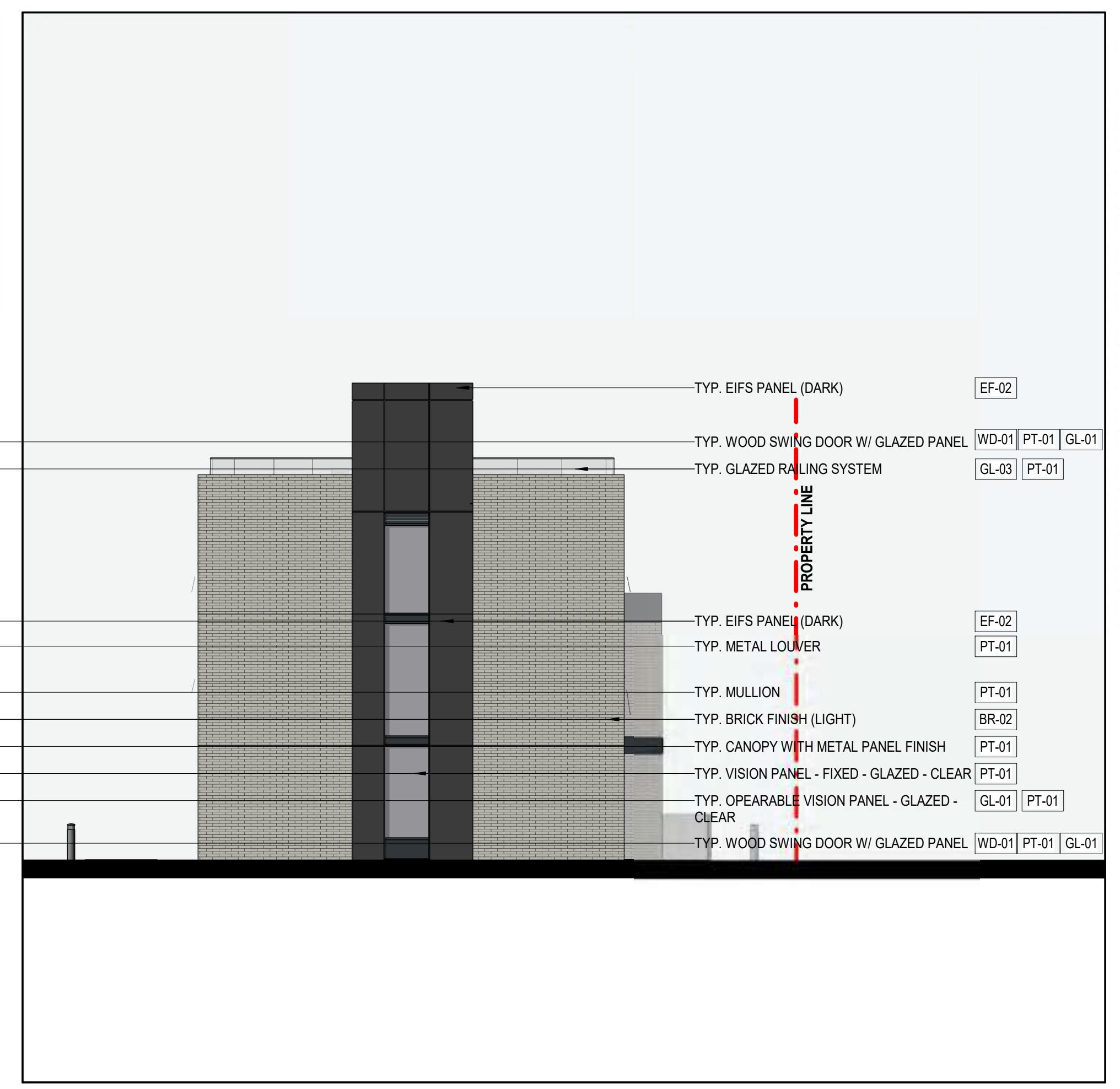


2024-05-01 7:05:10 PM



1 ELEVATION - TOWNHOUSE - NORTH
A405 Scale: 1 : 100

2 ELEVATION - TOWNHOUSE - EAST
A405 Scale: 1 : 100



3 ELEVATION - TOWNHOUSE - SOUTH
A405 Scale: 1 : 100

4 ELEVATION - TOWNHOUSE - WEST
A405 Scale: 1 : 100

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR
GL-02		TYP. SPANDEL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT	BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3	
COPYRIGHT		
KEY PLAN		
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

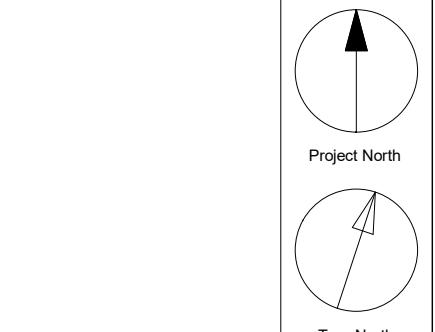
Notes:

1. For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
2. For grading and Services Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
3. For autoturn curb radii and fire access route refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
4. The building will be sprinklered.
5. All Levels interior lighting to meet OBC requirements.
6. The method of refuse waste separation will be single chutes with a bin-bone. A waste compactor is provided at ground level.
7. Indirect Loading bay (10' x 4'0") x 4'0" (x 7.5ft) for moving, delivery & garage pick up at ground floor. Refer to drawings prepared by carrier engineers.
8. Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
9. Staging pad area abutting the front of the type C loading space have an unenclosed vertical clearance of 7.5 m.
10. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
11. A waste storage room for townhouse building is provided at ground level with access from the loading bay. The bins stored in this room will be moved to main waste storage area via lift door.
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14. For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
15. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL



DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY:
GR	
SHEET TITLE	SCALE
TOWNHOUSE ELEVATIONS	As indicated DATE 2024-05-01
SHEET NUMBER	PROJ. NO.: A405
	SCALE CHECK 1:100 134655



CLIENT		BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3																						
COPYRIGHT																								
KEY PLAN																								
ISSUES		<table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>ISSUED FOR OPA / REZONING</td> <td>2021-12-10</td> </tr> <tr> <td>02</td> <td>ISSUED FOR OPA / REZONING</td> <td>2022-08-08</td> </tr> <tr> <td>03</td> <td>ISSUED FOR OPA / REZONING</td> <td>2022-11-28</td> </tr> <tr> <td>03</td> <td>ISSUED FOR SPA</td> <td>2022-12-21</td> </tr> <tr> <td>04</td> <td>ISSUED FOR SPA</td> <td>2023-10-19</td> </tr> <tr> <td>05</td> <td>ISSUED FOR OPA / REZONING</td> <td>2024-05-01</td> </tr> </tbody> </table>		No.	Description	Date	01	ISSUED FOR OPA / REZONING	2021-12-10	02	ISSUED FOR OPA / REZONING	2022-08-08	03	ISSUED FOR OPA / REZONING	2022-11-28	03	ISSUED FOR SPA	2022-12-21	04	ISSUED FOR SPA	2023-10-19	05	ISSUED FOR OPA / REZONING	2024-05-01
No.	Description	Date																						
01	ISSUED FOR OPA / REZONING	2021-12-10																						
02	ISSUED FOR OPA / REZONING	2022-08-08																						
03	ISSUED FOR OPA / REZONING	2022-11-28																						
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04	ISSUED FOR SPA	2023-10-19																						
05	ISSUED FOR OPA / REZONING	2024-05-01																						
Notes:		<ol style="list-style-type: none"> For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC. For grading and servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED. For automotive curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS. The building will be sprinklered. All Levels interior lighting to meet OBC requirements. The method of refuse waste separation will be single chutes with a bin inside. A waste compactor is provided at ground level. Indoor Loading bay (10' x 4' 0") x 4 (5' 0" to 7' 5") for moving, delivery & general pick up and drop off at ground floor. Refer to drawings prepared by CROZIER CONSULTING ENGINEERS. Loading bay and staging area are to be constructed of 200mm reinforced concrete and have a grade of no more than 2%. Staging pad area abutting the front of the type C loading space have an unencumbered vertical clearance of 7.5 m. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day. A waste storage room for townhouse building is provided at ground level with access from the loading bay. The bins stored at this room will be moved to main waste storage area via lift door. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection. For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres. 																						
PRIME CONSULTANT																								
PROJECT		101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO																						
SEAL																								
DRAWN BY:		CHECKED BY:																						
PROJECT MGR:		APPROVED BY:																						
SHEET TITLE		SCALE																						
TYPICAL TOWNHOUSE 1to50 ELEVATION		As indicated DATE 2024-05-01																						
SHEET NUMBER		PROJ. NO:																						
A408		134655																						



EXTERIOR WALL - DARK BRICK MASONRY

ENDICOTT DARK IRONSPOT (SMOOTH) - THAMES VALLEY OR SIMILAR



EXTERIOR GLAZING - CLEAR GLASS

TRULITE 154 OR SIMILAR

- SPANDREL LOW REFLECTANCE GLASS PANELS TO MATCH EXTERIOR GLAZING
- GLASS BALUSTRADES TO MATCH EXTERIOR GLAZING
- GLASS ENTRY DOORS TO MATCH EXTERIOR GLAZING
- GLASS ENTRY CANOPY TO MATCH EXTERIOR GLAZING



MULLIONS, METAL RAILING, & LOUVERS - GRAY

ECLIPSE GRAY - PPG DURANAR LIQUID COATING OR SIMILAR



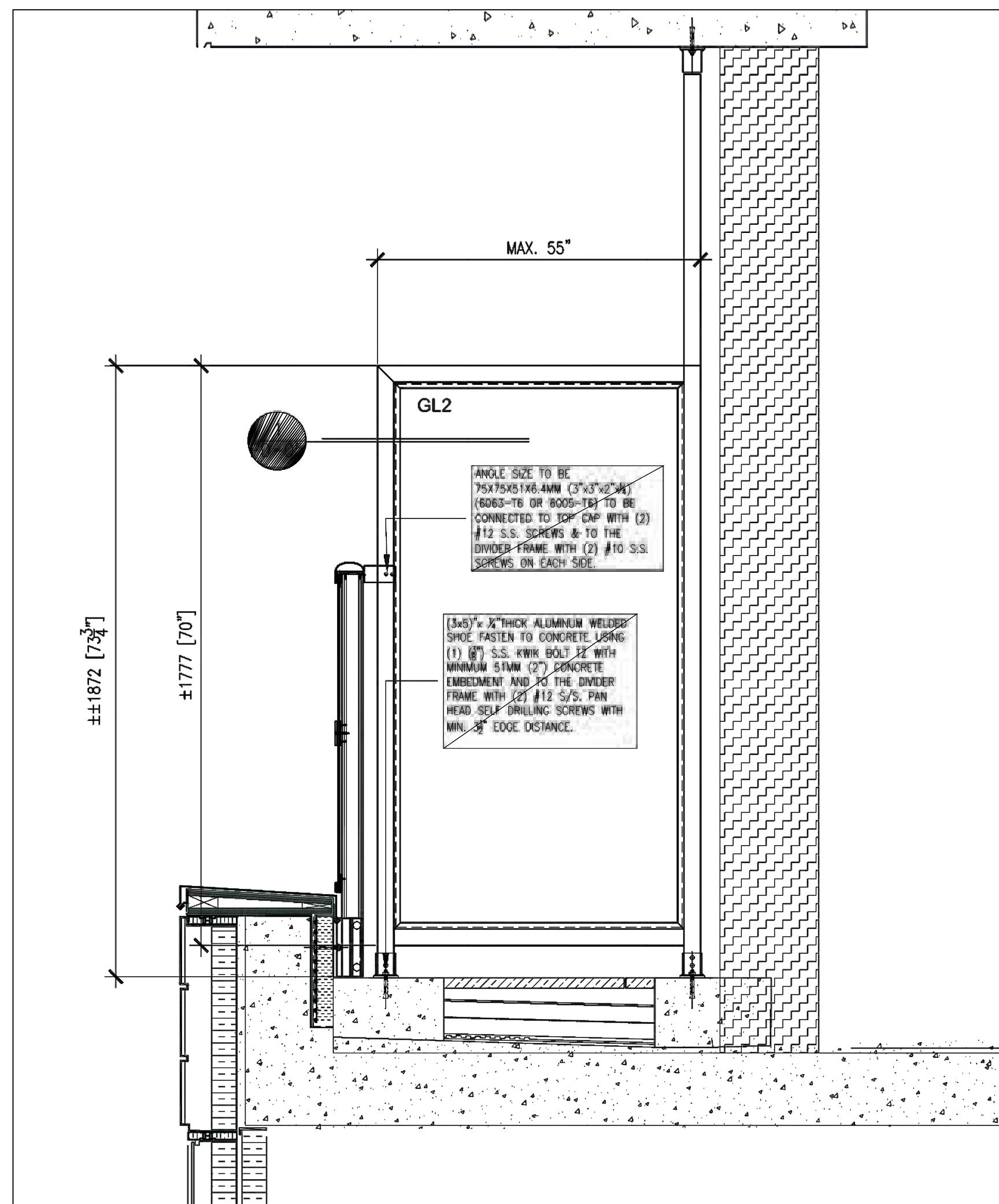
OVER HEAD DOOR - COLOR TO MATCH MULLIONS

CHARCOAL GRAY - PPG DURANAR LIQUID COATING OR SIMILAR



PATIO PARTITIONS - FROSTED GLASS

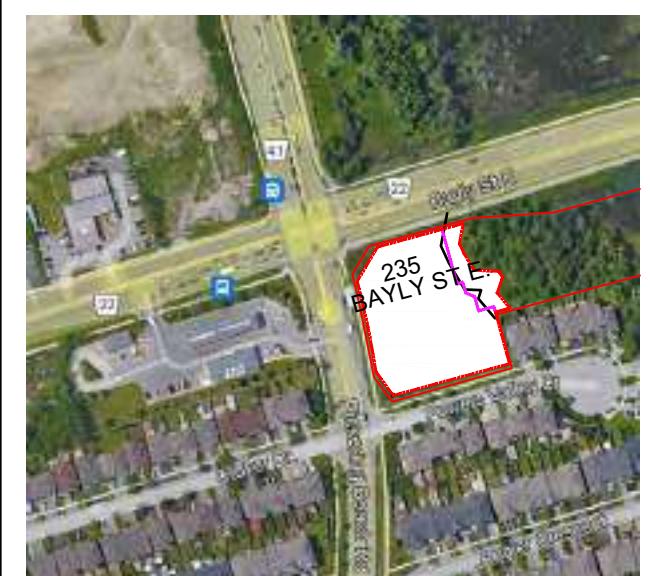
PATIO PARTITIONS - TYPICAL DETAIL



CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

1. For landscape & lighting information, refer to drawings prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
2. For grading and servicing information, refer to drawings prepared by KAMPS ENGINEERING LIMITED.
3. For autoturn, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
4. The building will be sprinklered.
5. All levels interior lighting to meet OBC requirements.
6. The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor will be placed at ground level.
7. Indoor Unloading bay 15'0" x 4'0" (w) x 7'5" (h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers.
8. Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
9. Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
10. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
11. A waste storage room for townhouse building is provided at ground level with access from/to loading bay. This room will be moved to main waste storage area via oh door.
12. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.
13. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
14. For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
15. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 00882018073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
101 PICKERING BEACH RD
& 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:

SHEET TITLE
BUILDING
MATERIAL BOARD

SCALE
DATE
2024-05-01

SHEET NUMBER
A600

10mm
1in
SCALE CHECK