

101 Pickering Beach Rd & 235 Bayly St E


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A600	BUILDING MATERIAL BOARD

CLIENT

BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

1.

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

2.

For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

3.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

4.

The building will be sprinklered.

5.

All Levels interior lighting to meet OBC requirements.

6.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

7.

Indoor Unloading bay 15(0) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor.
Refer to drawings prepared by crozier consulting engineers

8.

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

9.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

10.

A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagmen when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

11.

A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.

12.

A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.

13.

The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

14.

For survey credit, refer to survey drawing prepared by RAJVIS SURVEYING INC.

15.

Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

Project North

True North

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

SCALE

COVER PAGE

DATE
2024-05-01

SHEET NUMBER

PROJ. NO:

A000

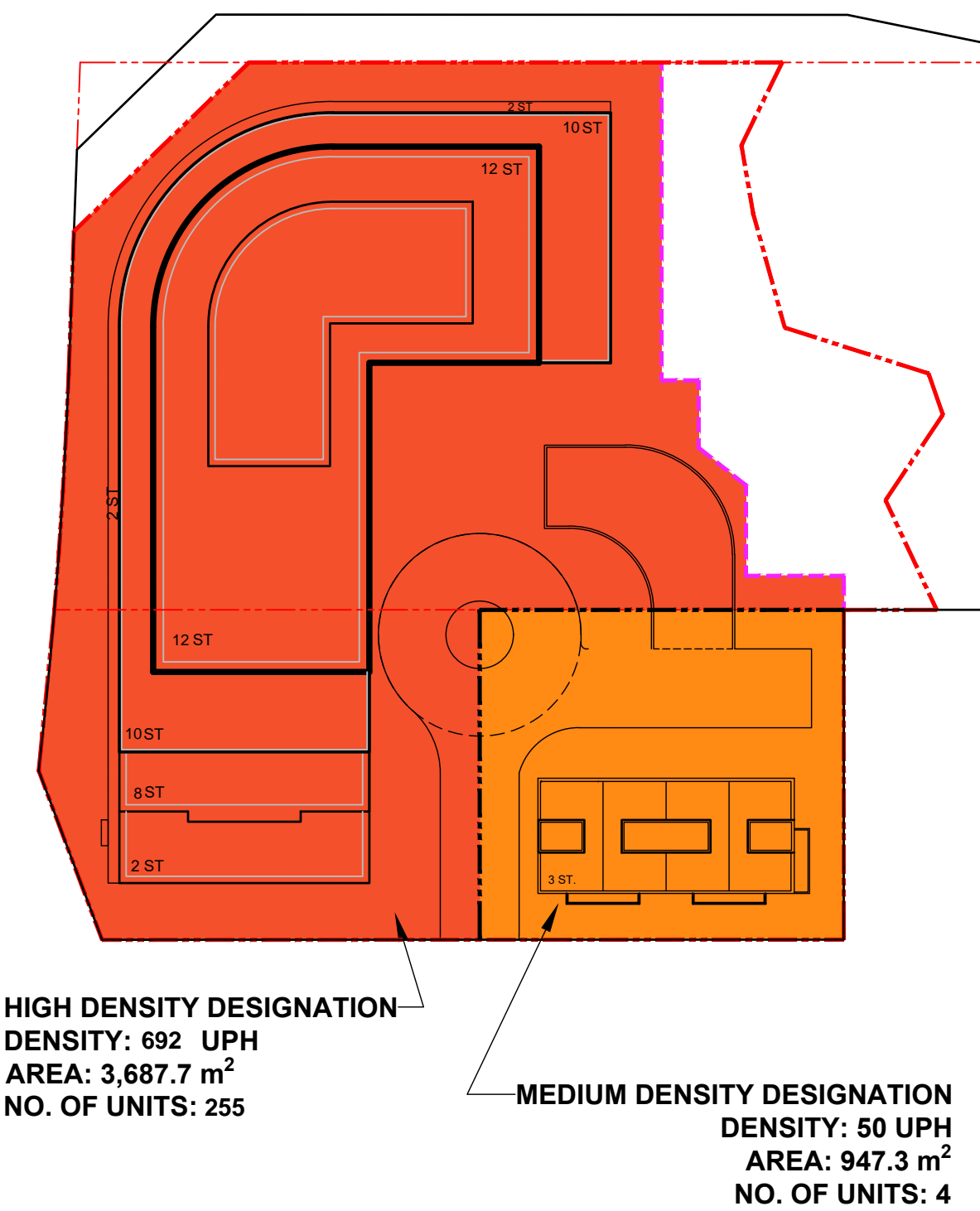
134655

10mm

1"=

PROJECT STATISTICS				
<i>m</i> - Denotes Meters		<i>min</i> - Denotes Minimum		
<i>sm</i> - Denotes Square Meters		<i>max</i> - Denotes Maximum		
PROJECT DATA				
Municipal Address of Subject Lands:		101 Pickering Beach Rd & 235 Bayly St E, Ajax, Ontario		
Zoning:		By-Law No. 95-2003		
Proposed Use: Residential				
Proposed F.S.I. :		4.00	(GFA ÷ Net Developable Site)	
Proposed Density:		691.50	Unit per Hectare at high density residential designated area	
		691.50	Unit per Hectare at medium density residential designated area	
Original Site Area		11360.00 sm		
Ecological Land Deduction		5807.80 sm		
Road Widening Deduction		309.30 sm		
TRCA Buffer Area Deduction		607.50 sm		
Proposed Lot Area:		4635.40 sm	(Net Developable Site)	
Proposed Lot Coverage:		49.00 %		
Established Grade:		83.55 m	CDG (Canadian Geodetic Datum)	
Refer to Survey and Architectural Drawings				
Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 meters.				
BUILDING HEIGHT				
	Condo Building		Townhouse Building	
Height to Top of Residential Roof	37.90 m	Height to Top of Residential Roof	9.30 m	
Height to Top of MPH Roof	41.70 m	Height to Top of Access Staircase	12.15 m	
Note:				
Building height excludes mechanical penthouses up to 7.0m, chimney vents, skylights, antennae, elevator machine rooms and parapet walls, and is measured from the established grade.				
No. of Storeys Proposed:	12		3	
PROPOSED AREAS				
Residential GFA****	18,576 sm	**** GFA as defined by Zoning By-law No No. 95-2003		
At Grade Condition:				
Ground Floor Area*	2185.00 sm	* Building Footprint		
Landscaped Open Space**	1578.00 sm	** Soft Landscaping + Hard Landscaping areas		
Paved Surface Area***	872.40 sm	*** Driveway + Parking lots		
Green Roof Area*****	762.00 sm	*****Level 12 Roof + MPH Roof - Refer to A100 & A208		
RESIDENTIAL UNIT MIX				
Unit Type	Unit Count	Typical Unit Size		Percent
Studio		As per Arch. Drawings		0% S
1 Bedroom	109	As per Arch. Drawings		42 % 1B
2 Bedroom	142	As per Arch. Drawings		55 % 2B
3 Bedroom	4	As per Arch. Drawings		2% 3B
Townhouse 3B (Separate Building)	4	As per Arch. Drawings		2% 3B
TOTAL:		259	Units	
AMENITY				
REQUIRED	Area	PROVIDED		
Indoor Amenity (1.0 m2 per unit):	255	Indoor Amenity:	541.00	
Outdoor Amenity (1.0 m2 per unit):	255	Outdoor Amenity:	260.00	
Total Indoor & Outdoor Provided Amenity	510	Total Indoor & Outdoor Provided Amenity	801.00	
PARKING SPACE				
REQUIRED	Parking Spaces	PROVIDED	Parking Spaces	
259 Condo + 4 TH units		255 Condo + 4 TH units		
Total Parking Spaces Required:	309	Total Parking Spaces Provided:	254	
Breakdown of parking space by use allocation:		Breakdown of parking space by use allocation:		
Residential Condo (1.03 per Unit)	263	Residential Condo (min 0.88 Per Unit)	225	
Residential Visitors (0.15 Per Unit)	38	Residential Visitors (0.08 Per Unit)	21	
Residential Townhouses (2.0 per Unit)	8	Residential Townhouses (2.0 Per Unit)	8	
No.of parking Spaces to be B/F	9	No.of parking Spaces to be B/F	9	
			4 Typ (A) + 5 Typ (B)	
		Breakdown of Provided parking space by location:		
		Above Grade Parking	13	
		Below Grade Parking	241	
BICYCLE PARKING SPACE				
REQUIRED Bicycle Parking Space	Spaces	PROVIDED Bicycle Parking Space	Spaces	
Long-term Spaces (0.6/unit)	125	Long-term Spaces	125	
Short-term Spaces (0.07/unit)	15	Short-term Spaces	15	
TOTAL:		140	TOTAL:	140
		128 indoor spaces (Bike Room 1, 2, 3) + 12 outdoor spaces located next to main entrance and bike room 2. Refer to A200		
LOADING SPACE				
Type of Loading Space Provided:	Large Type Loading Bay	Size: 15(L) X 4(W) X 4.5(H) to 7.0(H)		
		200mm Reinforced Concrete Pad for the entire area with 7.0m Ceiling Height. Refer to A200 & A400 Drawings.		
GARBAGE ROOM				
Breakdown of garbage room area:				
Bulk Storage	10 sm			
Residential Garbage Room & Storage	66.30 sm			
Townhouse Garbage Room	12.30 sm			
TOTAL:		88.60 sm		
Waste Management Bins	Bin Type	Total Bins		
Garbage	3cy-bin	5		
Recycle	3cy-bin	6		
Organics	3cy-bin	3		

PROPOSED ZONING DESIGNATION DIAGRAM



REQUIRED PARKING SPACES

BUILDING	NO. OF UNITS	REQUIRED RESI. RATIO	REQUIRED RESI. SPACES	REQUIRED VIS. RATIO	REQUIRED VIS. SPACES	TOTAL REQUIRED RESI. & VIS.
CONDO	255	1.03	263	0.15	38	301
TOWNHOUSE	4	2.0 REQUIRED PERT UNIT				8

PROVIDED PARKING SPACES

BUILDING	NO. OF UNITS	PROVIDED RESI. RATIO	PROVIDED RESI. SPACES	PROVIDED VIS. RATIO	PROVIDED VIS. SPACES	TOTAL PROVIDED RESI. & VIS.
CONDO	255	0.88	225	0.08	21	246
TOWNHOUSE	4	2.0 PROVIDED PERT UNIT				8

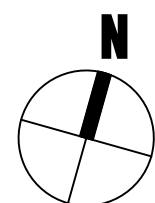
PROVIDED PARKING SPACES BREAKDOWN


CONDO BLDG PARKING SPACE COUNT BY LEVEL			
Level		Stall Count	
Ground level			5
Parking level - P1			114
Parking level - P2			127
TOTAL PARKING SPACES:			246
CONDO PARKING SPACE COUNT BY ASSIGNMENT			
Parking Space	Assignment		Stall Count
VISITOR	V		21
RESIDENTIAL	R		225
TOTAL PARKING SPACES:			246
CONDO BLDG BARRIER FREE PARKING SPACE COUNT / LOCATION			
Level	Type	Assignment	Stall Count
Ground level	BF 2600x5500 (TYPE B)	V	1
Parking level - P1	BF 3400x5500 (TYPE A)	R	1
Parking level - P1	BF 2600x5500 (TYPE B)	R	2
Parking level - P2	BF 3400x5500 (TYPE A)	R	2
Parking level - P2	BF 2600x5500 (TYPE B)	R	2
TOTAL B/F PARKING SPACES:			4A + 5B
TOWNHOUSE BLDG PARKING SPACE COUNT BY LEVEL			
Level		Stall Count	
Ground level			8
TOTAL TOWNHOUSE BUILDING SPACES AT GRADE:			8

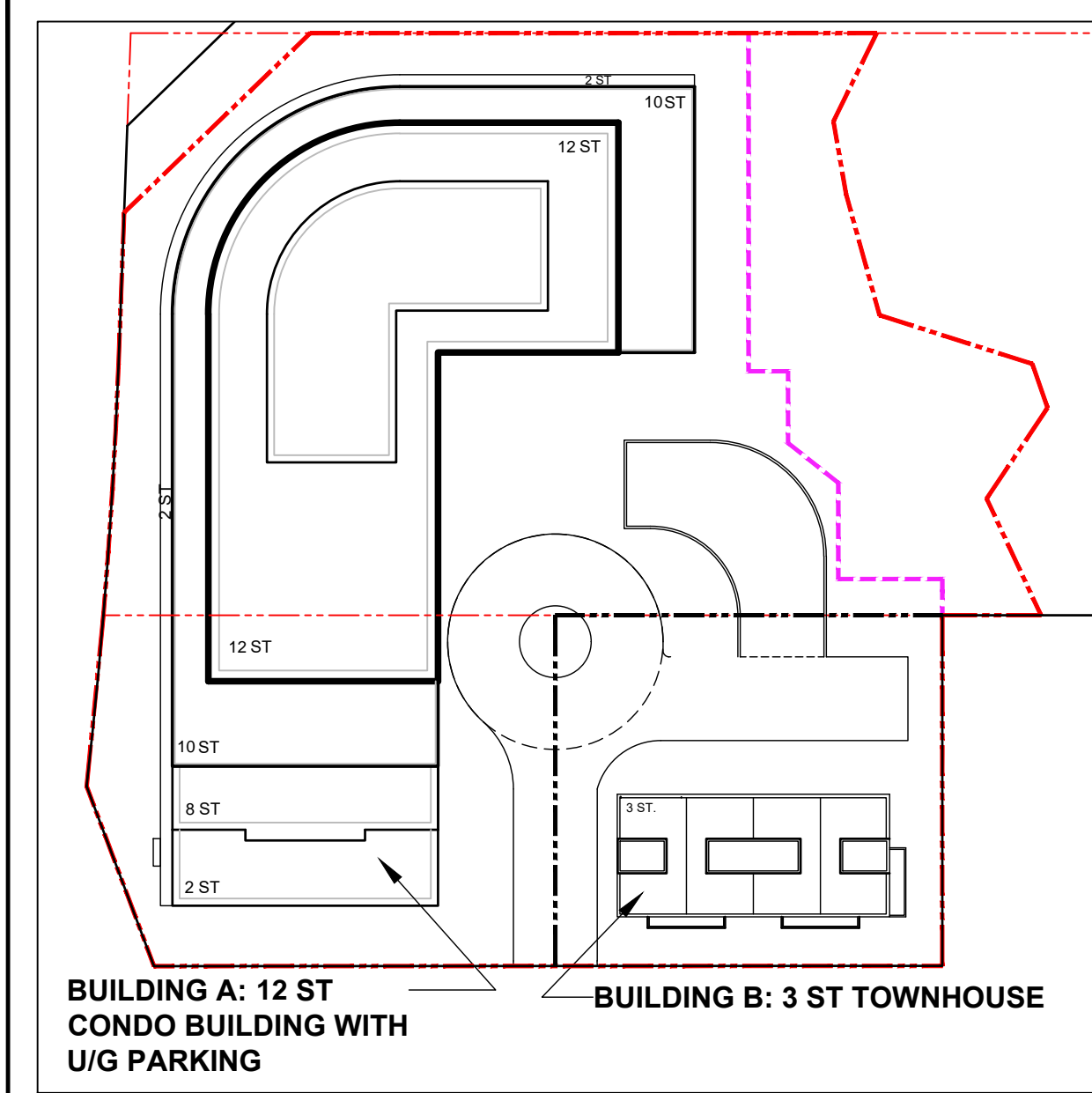
PROPOSED BUILDING AREAS & UNIT MIX BREAKDOWN													
	Level	Condo BLDG GFA (SQ.M)	Townhouse BLDG GFA (SQ.M) including parking above grade	Condo BLDG GFA (SQ.FT)	Townhouse BLDG GFA (SQ.FT) Including Parking Above	S	1B	2B	TOWN HOME 2B	3B	TOWN HOME 3B	TOWN HOUSE 4B (SEPARATE BUILDING)	Sub-Total
Above Grade	Ground	1,933	225	20,807	2,422	0	2	7				4	13
	Level 2	1,620	233	17,438	2,508	0	9	15		0			24
	Level 3	1,563	233	16,824	2,508	0	12	13		0			25
	Level 4	1,563		16,824		0	12	13		0			25
	Level 5	1,563		16,824			12	13		0			25
	Level 6	1,563		16,824			12	13		0			25
	Level 7	1,563		16,824		0	12	13		0			25
	Level 8	1,563		16,824		0	12	13		0			25
	Level 9	1,447		15,575		0	8	14		0			22
	Level 10	1,447		15,575		0	8	14		0			22
	Level 11	1,030		11,087		0	5	7		2			14
	Level 12	1,030		11,087		0	5	7		2			14
	Unit Mix					0%	42%	55%	4%				
	Sub-Total	17,885	691	192,513	7,438	0	109	142	8				
	Total	18,576		199,951		259							



CONTEXT PLAN
SC 1:2000



CLIENT		
BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3		
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KEY PLAN		
		
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
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03	ISSUED FOR OPA / REZONING	2022-11-28
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04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01
Notes:		
1.	For landscape & lighting Information, refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.	
2.	For grading and Servicing Information, refer to Drawings prepared by KAMPS ENGINEERING LIMITED.	
3.	For autolums, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.	
4.	The building will be sprinklered.	
5.	All Levels interior lighting to meet OBC requirements.	
6.	The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.	
7.	Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers	
8.	Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.	
9.	Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.	
10.	A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.	
11.	A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via oh door.	
12.	A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.	
13.	The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.	
14.	For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.	
15.	Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.	
PRIME CONSULTANT		
PROJECT		
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO		
SEAL		
DRAWN BY:		CHECKED BY:
PROJECT MGR:		APPROVED BY:
SHEET TITLE		SCALE
CONTEXT PLAN & PROJECT STATISTICS		DATE
		2024-05-01
SHEET NUMBER		PROJ. NO:
A 001		134655



BUILDING A: 12 ST CONDO BUILDING WITH U/G PARKING

BUILDING B: 3 ST TOWNHOUSE

OBC MATRIX BUILDING A

Name of Practice :		ARCADIS 7th Floor - 55 St. Clair Avenue West Toronto, Ontario, M4V 2Y6			
Name of Project :		101 Pickering Beach Rd. & 235 Bayly			
Location:		St. E. Ajax, Ontario			
Ontario Building Code Data Matrix Part 3					
3.00	Building Code Version	O.Reg 332/12 as amended to O.Reg 89/23		Building Code Reference ¹ Part 3	
3.01	Project Type	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input type="checkbox"/> Change Of Use <input type="checkbox"/> Addition and renovation		[A] 1.1.2	
		Description	1 Residential Tower - 12 storey 2 Levels of Below grade parking		
3.02	Major Occupancy Classification	Occupancy Group C	Use Residential	3.2.2.42.	
3.03	Superimposed Major Occupancies	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.2.7	
3.04	Building Area (m²)	Description	Residential occupancy over U/G parking	[A] 1.4.1.2	
			Existing New Total 0.0 1,953 14,759		
3.05	Gross Area (m²)	Description	Existing New Total 0 14,759 14,759	[A] 1.4.1.2	
		Residential			
3.06	Mezzanine Area (m²)	Total	0 14,759 14,759	3.2.1.1	
			Existing New Total 0 0 0		
3.07	Building Height	Storeys: 12	Residential tower - Storeys above Grade 37.90m + 4.5m (MPH)	[A] 1.4.1.2 & 3.2.1.1	
3.08	High Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Residential tower - Storeys below Grade	3.2.6	
3.09	Number of Streets/ Firefighter Access	2	Pickering Beach Rd. + Power Valley Ct.	3.2.2.10 & 3.2.5	
3.10	Building Classification (Size and Construction - Relative to occupancy)	3.2.2.42	Group C	3.2.2.20-83	
3.11	Sprinkler System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.2.20-83 3.2.1.5 & 3.2.2.17	
		Proposed:	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> Selected compartments <input type="checkbox"/> Selected Floor Area <input type="checkbox"/> Basement <input type="checkbox"/> In lieu of roof rating		
3.12	Standpipe System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.9	
3.13	Fire Alarm System	<input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required		3.2.4	
3.14	Water Service / Supply is adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	
3.15	Construction Type	Restriction	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non combustible required	3.2.2.20-83 & 3.2.1.4	
		Actual	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Combination		
		Heavy Timber Construction	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
3.16	Importance Category	<input type="checkbox"/> Low <input type="checkbox"/> Low Human Occupancy <input type="checkbox"/> Post-disaster shelter <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor Storage building <input type="checkbox"/> Explosive or hazardous substances <input type="checkbox"/> Post disaster		4.1.2.1.(3) & T4.1.2.1 B	
		(IE Fa Sa (0.2)) = 0.26			
		Seismic design required for Table 4.1.1.18 item 6 to 21: (IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
3.17	Seismic Hazard Index			4.1.2.1. (3) 4.1.8.18. (2)	
3.18	Occupant Load	Refer to Building Code Report		3.1.17	
3.19	Barrier Free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.8	
3.20	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2 & 3.3.1.19	
3.21	Required Fire Resistance Ratings (FRR)	Horizontal Assembly	Rating	Supporting Assembly (H)	Noncombustible in lieu of rating
		Floors over basement	2h	2h	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
		Floors	2h	2h	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
		Mezzanine	N/A	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
		Roof	0h	N/A	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
		Roof terrace	2h	2h	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A
3.22	Spatial Separation	Refer to Building Code Report for Spatial Separation Calculation		3.2.3	
3.23	Plumbing Fixture Requirements (refer to item 3.25)	A Dwelling Unit is required to be provided with a: Kitchen Sink, Lavatory, Water closet or Drainless composting water closet and bathtub or shower stall		3.7.4	
3.24	Energy Efficiency	Compliance Path			
3.25	Notes	Climatic Zone	6b		
Refer also to Building Code Report					
¹ All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C					

OBC MATRIX BUILDING B

Name of Practice:		ARCADIS 7th Floor - 55 St. Clair Avenue West Toronto, Ontario, M4V 2Y6						
Name of Project :		101 Pickering Beach Rd. & 235 Bayly						
Location:		St. E. Ajax, Ontario						
Ontario Building Code Data Matrix Part 9						Building Code Reference ¹		
3.00	Building Code Version	O.Reg 332/12 as amended to O.Reg 89/23				Part 9		
3.01	Project Type	<input checked="" type="checkbox"/> New		<input type="checkbox"/> Addition		<input type="checkbox"/> Renovation		
		<input type="checkbox"/> Change Of Use		<input type="checkbox"/> Addition and renovation		9.10.2.		
		Description		1 Townhouse Building - 3 Storey				
3.02	Major Occupancy Classification	Occupancy Group C		Use <i>Residential</i>		9.10.2.1.		
3.03	Superimposed Major Occupancies	<input type="checkbox"/> Yes		<input checked="" type="checkbox"/> No				
3.04	Building Area (m²)			Existing	New	Total	[A] 1.4.1.2	
				0.0	232	232		
3.05	Gross Area (m²)	Description		Existing	New	Total	[A] 1.4.1.2	
		<i>Residential</i>		0	691	691		
3.06	Mezzanine Area (m²)			0	691	691	9.10.4.1.	
				Existing	New	Total		
				0	0	0		
3.07	Building Height	Storesys: 3	Townhouse - Storesys above Grade		9.3 + 2.85 (MPH)		[A] 1.4.1.2. & 9.10.4.	
3.08	High Building	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No				N/A	
3.09	Number of Streets/ Firefighter Access	1	Power Valley Ct.				9.10.20.	
3.10	Building Classification (Size and Construction - Relative to occupancy)	3.2.2.42.	Group C				9.10.2.	
3.11	Sprinkler System	<input type="checkbox"/> Required		<input checked="" type="checkbox"/> Not Required		9.10.2.		
		Proposed:		<input checked="" type="checkbox"/> Entire Building		<input type="checkbox"/> Selected compartments		
				<input type="checkbox"/> Selected Floor Area		<input type="checkbox"/> Basement		
				<input type="checkbox"/> In lieu of roof rating				
3.12	Standpipe System	<input type="checkbox"/> Required		<input checked="" type="checkbox"/> Not Required		N/A		
3.13	Fire Alarm System	<input type="checkbox"/> Required		<input checked="" type="checkbox"/> Not Required		9.10.18.		
3.14	Water Service / Supply is adequate	<input checked="" type="checkbox"/> Yes		<input type="checkbox"/> No		N/A		
		Restriction		<input checked="" type="checkbox"/> Combustible permitted		<input type="checkbox"/> Non combustible required		
3.15	Construction Type	Actual		<input checked="" type="checkbox"/> Combustible		<input type="checkbox"/> Non-combustible		9.10.6.
				<input type="checkbox"/> Non-combustible		<input type="checkbox"/> Combination		
		Heavy Timber Construction		<input checked="" type="checkbox"/> Yes		<input type="checkbox"/> No		
3.16	Importance Category	<input type="checkbox"/> Low		<input type="checkbox"/> Low Human Occupancy		<input type="checkbox"/> Post-disaster shelter		
		<input checked="" type="checkbox"/> Normal						
		<input type="checkbox"/> High		<input type="checkbox"/> Minor Storage building		<input type="checkbox"/> Explosive or hazardous substances		
		<input type="checkbox"/> Post disaster						
3.17	Seismic Hazard Index	(IE Fa Sa (0.2)) = 0.26		Seismic design required for Table 4.1.1.18 item 6 to 21: ((IE Fa Sa (0.2)) ≥ 0.35 or Post-disaster)		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
3.18	Occupant Load	32				9.9.1.3.		
3.19	Barrier Free Design	<input type="checkbox"/> Yes		<input checked="" type="checkbox"/> No		9.5.2.		
3.20	Hazardous Substances	<input type="checkbox"/> Yes		<input checked="" type="checkbox"/> No				
3.21	Required Fire Resistance Ratings (FRR)	Horizontal Assembly	Rating	Supporting Assembly (H)	Noncombustible in lieu of rating			
		Floors over basement	2h	2h	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A			
		Floors	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A			
		Mezzanine	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A			
		Roof	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A			
		Roof terrace	0	0	<input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A			
3.22	Spatial Separation	Refer to Building Code Report for Spatial Separation Calculation						
3.23	Plumbing Fixture Requirements (refer to item 3.25)	A Dwelling Unit is required to be provided with a: Kitchen Sink, Lavatory, Water closet or Drainless composting water closet and bathtub or shower stall						
3.24	Energy Efficiency	Compliance Path						
3.25	Notes	Climatic Zone	6b					
		Refer also to Building Code Report						
¹ All references are to Division B of the OBC unless preceded by [A] for Division A and [C] for Division C								

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KEY PLAN

ISSUES

No.	DESCRIPTION	
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

1.

For landscape & lighting Information, refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

2.

For grading and Servicing Information, refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

3.

For autoloms, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

4.

The building will be sprinklered.

5.

All Levels interior lighting to meet OBC requirements.

6.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

7.

Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers

8.

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

9.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

10.

A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

11.

A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via oh door.

12.

A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.

13.

The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

14.

For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.

15.

Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH RD
& 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

PROJECT OBC MATRIX

SCALE

DATE

2024-05-01

SHEET NUMBER

A 002

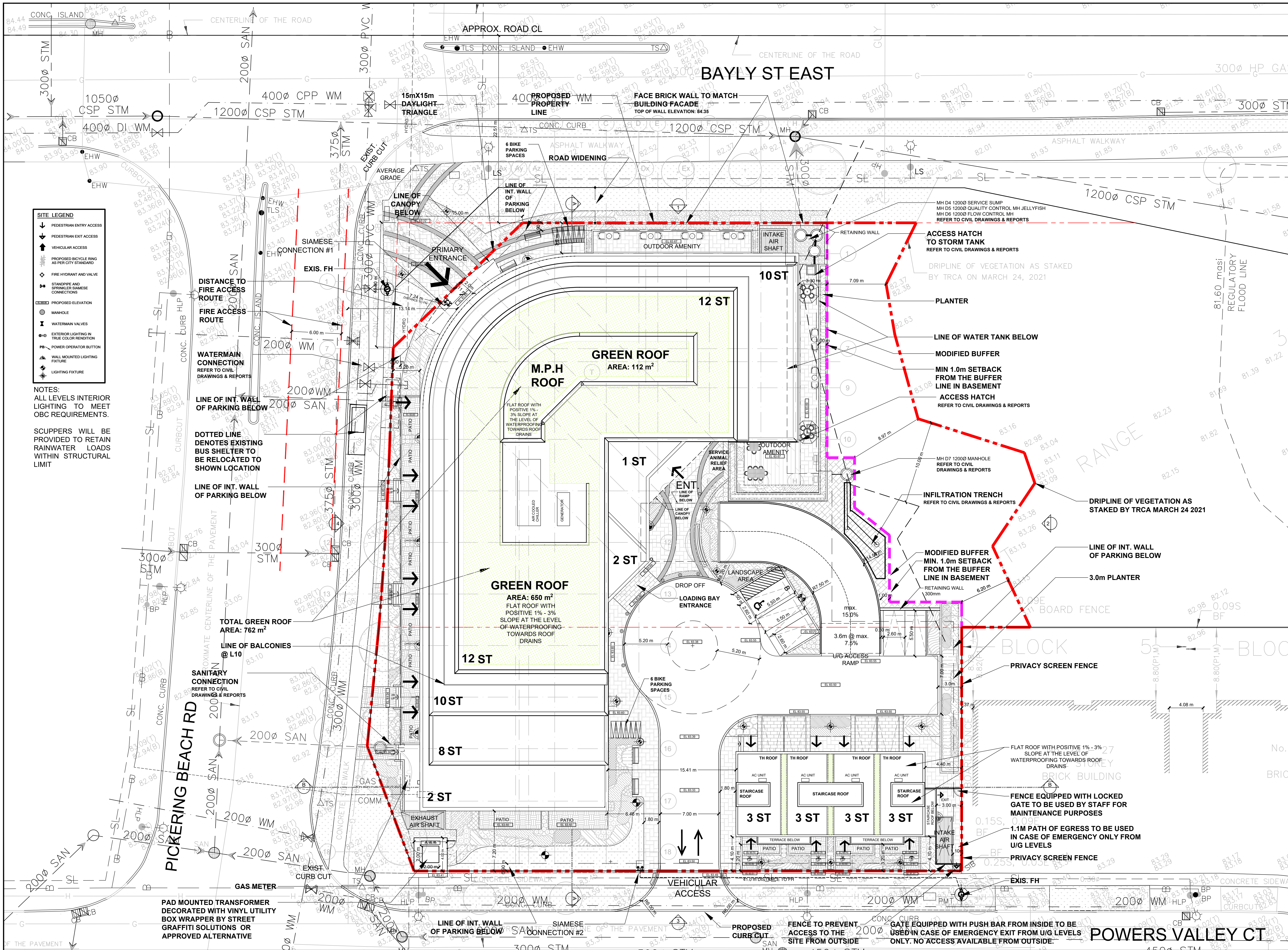
PROJ. NO:

134655

SCALE CHECK

1 in

1 mm



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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

- For landscape & lighting information, refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
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- The building will be sprinklered.
- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unobstructed vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
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- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH RD
& 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

SITEPLAN

SHEET NUMBER

A 100

SCALE

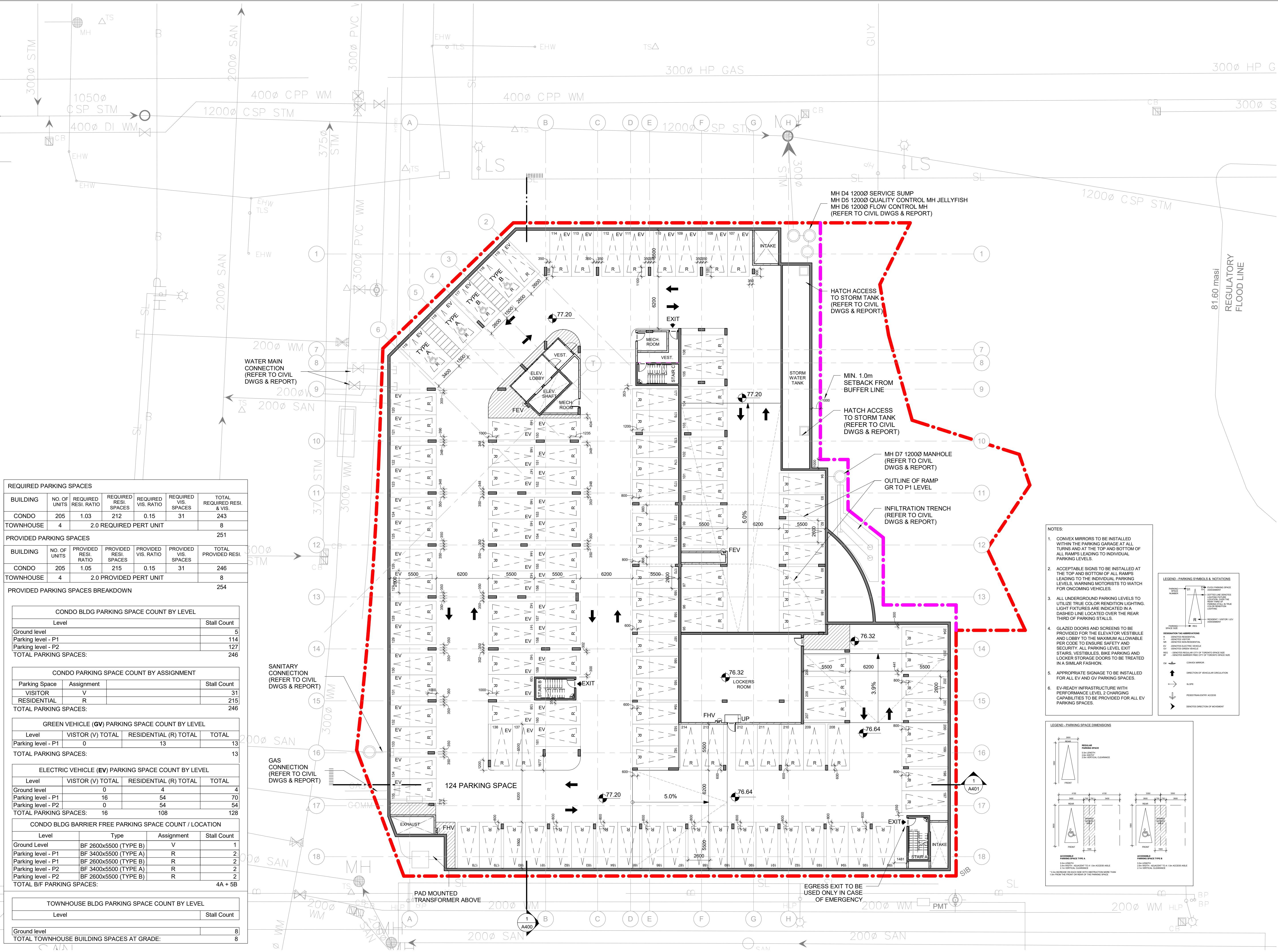
1:200

DATE

2024-05-01

PROJ. NO.

134655



REQUIRED PARKING SPACES						
BUILDING	NO. OF UNITS	REQUIRED RESI. RATIO	REQUIRED RESI. SPACES	REQUIRED VIS. RATIO	REQUIRED VIS. SPACES	TOTAL REQUIRED RESI. & VIS.
CONDO	205	1.03	212	0.15	31	243
TOWNHOUSE	4	2.0 REQUIRED PERT UNIT				8
PROVIDED PARKING SPACES						251
BUILDING	NO. OF UNITS	PROVIDED RESI. RATIO	PROVIDED RESI. SPACES	PROVIDED VIS. RATIO	PROVIDED VIS. SPACES	TOTAL PROVIDED RESI.
CONDO	205	1.05	215	0.15	31	246
TOWNHOUSE	4	2.0 PROVIDED PERT UNIT				8
PROVIDED PARKING SPACES BREAKDOWN						254

CONDO BLDG PARKING SPACE COUNT BY LEVEL			
Level	Stall Count		
Ground level	5		
Parking level - P1	114		
Parking level - P2	127		
TOTAL PARKING SPACES: 246			

CONDO PARKING SPACE COUNT BY ASSIGNMENT			
Parking Space	Assignment	Stall Count	
VISITOR	V	31	
RESIDENTIAL	R	215	
TOTAL PARKING SPACES: 246			

GREEN VEHICLE (GV) PARKING SPACE COUNT BY LEVEL			
Level	VISTOR (V) TOTAL	RESIDENTIAL (R) TOTAL	TOTAL
Parking level - P1	0	13	13
TOTAL PARKING SPACES: 13			

ELECTRIC VEHICLE (EV) PARKING SPACE COUNT BY LEVEL			
Level	VISTOR (V) TOTAL	RESIDENTIAL (R) TOTAL	TOTAL
Ground level	0	4	4
Parking level - P1	16	54	70
Parking level - P2	0	54	54
TOTAL PARKING SPACES: 16 108 128			

CONDO BLDG BARRIER FREE PARKING SPACE COUNT / LOCATION				
Level	Type	Assignment	Stall Count	
Ground Level	BF 2600x5500 (TYPE B)	V	1	
Parking level - P1	BF 3400x5500 (TYPE A)	R	2	
Parking level - P1	BF 2600x5500 (TYPE B)	R	2	
Parking level - P2	BF 3400x5500 (TYPE A)	R	2	
Parking level - P2	BF 2600x5500 (TYPE B)	R	2	
TOTAL B/F PARKING SPACES: 4A + 5B				

TOWNHOUSE BLDG PARKING SPACE COUNT BY LEVEL	
Level	Stall Count
Ground level	8
TOTAL TOWNHOUSE BUILDING SPACES AT GRADE: 8	

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KEY PLAN

ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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- For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- The building will be sprinklered.
- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Unit loading bay (50' x 4.0'w) x 4.5' (h) to 7.5' (h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unobstructed vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagmen when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via oh door.
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- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

LEVEL P2

SHEET NUMBER

A198

SCALE

1 : 200

DATE

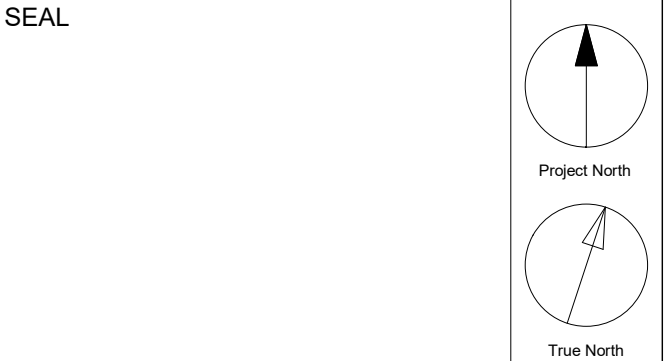
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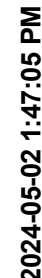
PROJ. NO.

134655

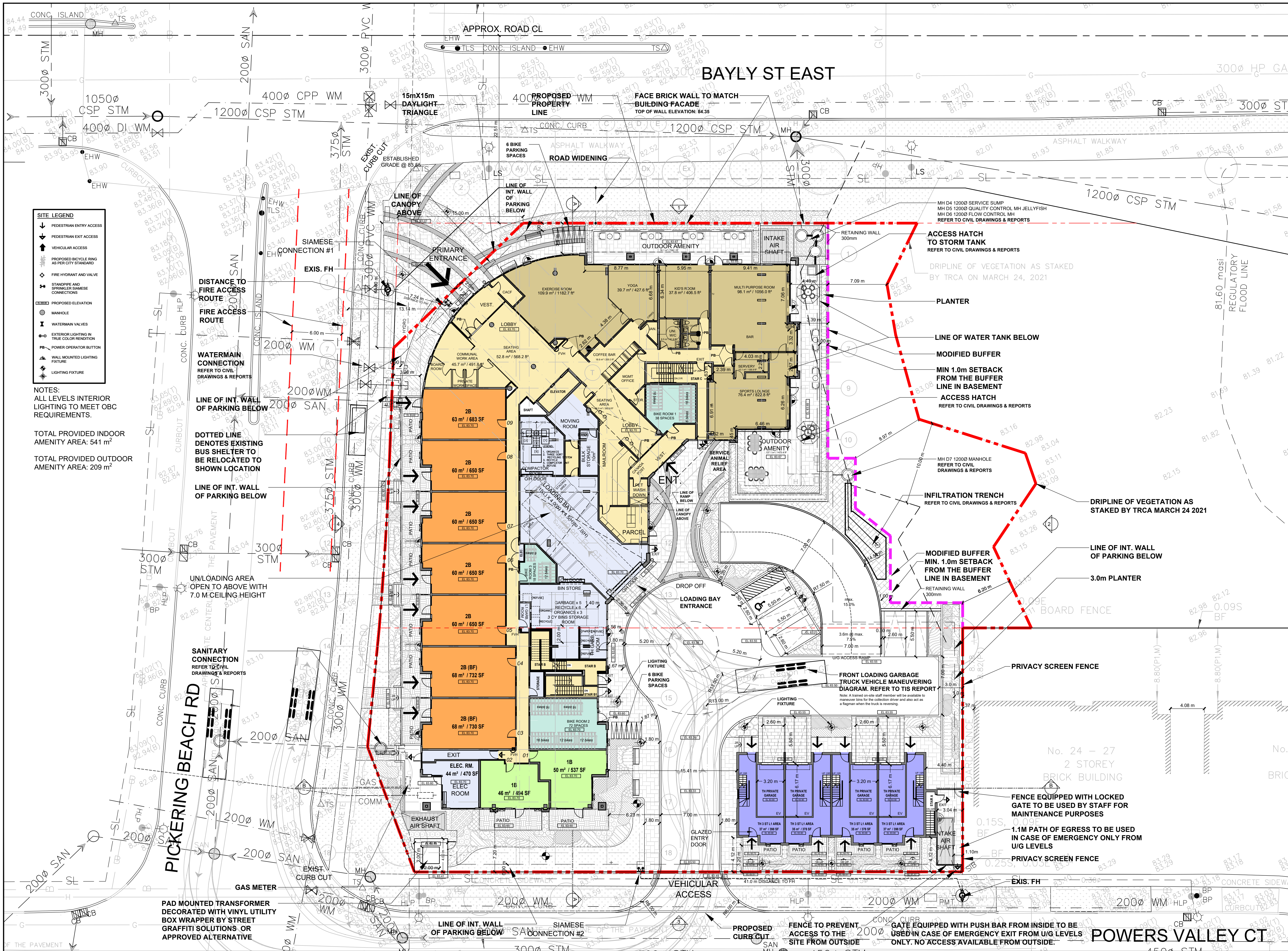
SCALE CHECK

1:1





SCALE CHECK	10mm
in	



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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unobstructed vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via off door.
- A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.
- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH RD
& 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

SHEET TITLE

GROUND FLOOR PLAN

SCALE

1:200

DATE

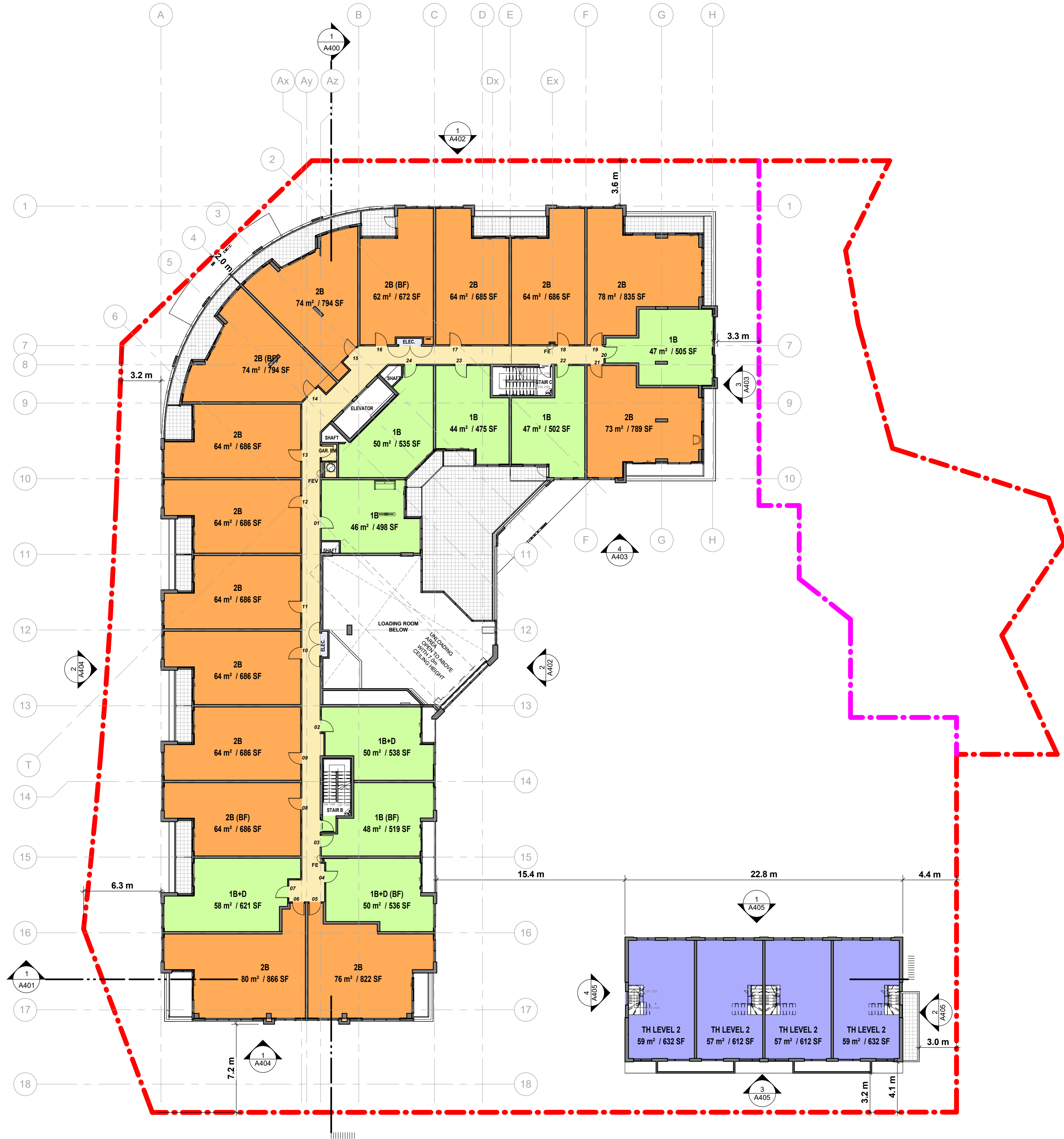
2024-05-01

SHEET NUMBER

A 200

PROJ. NO.

134655



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KEY PLAN

ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Unit Loading bay 15(0) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unnumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
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- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:
GR

SHEET TITLE

LEVEL 02

SHEET NUMBER

A201

SCALE

1 : 200

DATE

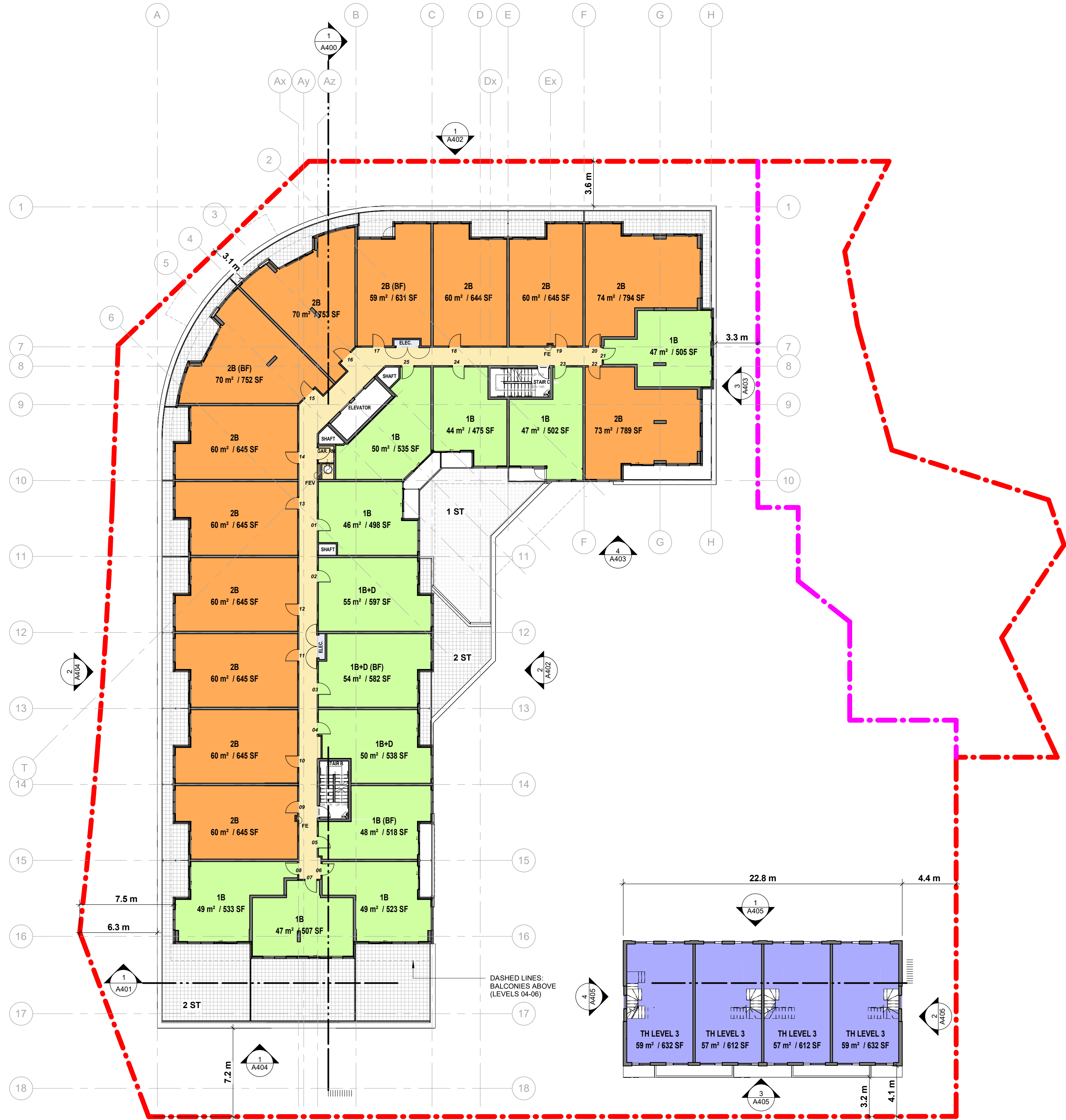
2024-05-01

PROJ. NO.

134655

SCALE CHECK

1" = 10m



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KEY PLAN



ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
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06	ISSUED FOR OPA / REZONING	2024-05-01

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 - The building will be sprinklered.
 - All Levels interior lighting to meet OBC requirements.
 - The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
 - Indoor Unit Loading bay 15(1) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
 - Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
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 - For survey credit, refer to survey drawing prepared by RAJIS SURVEYING INC.
 - Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

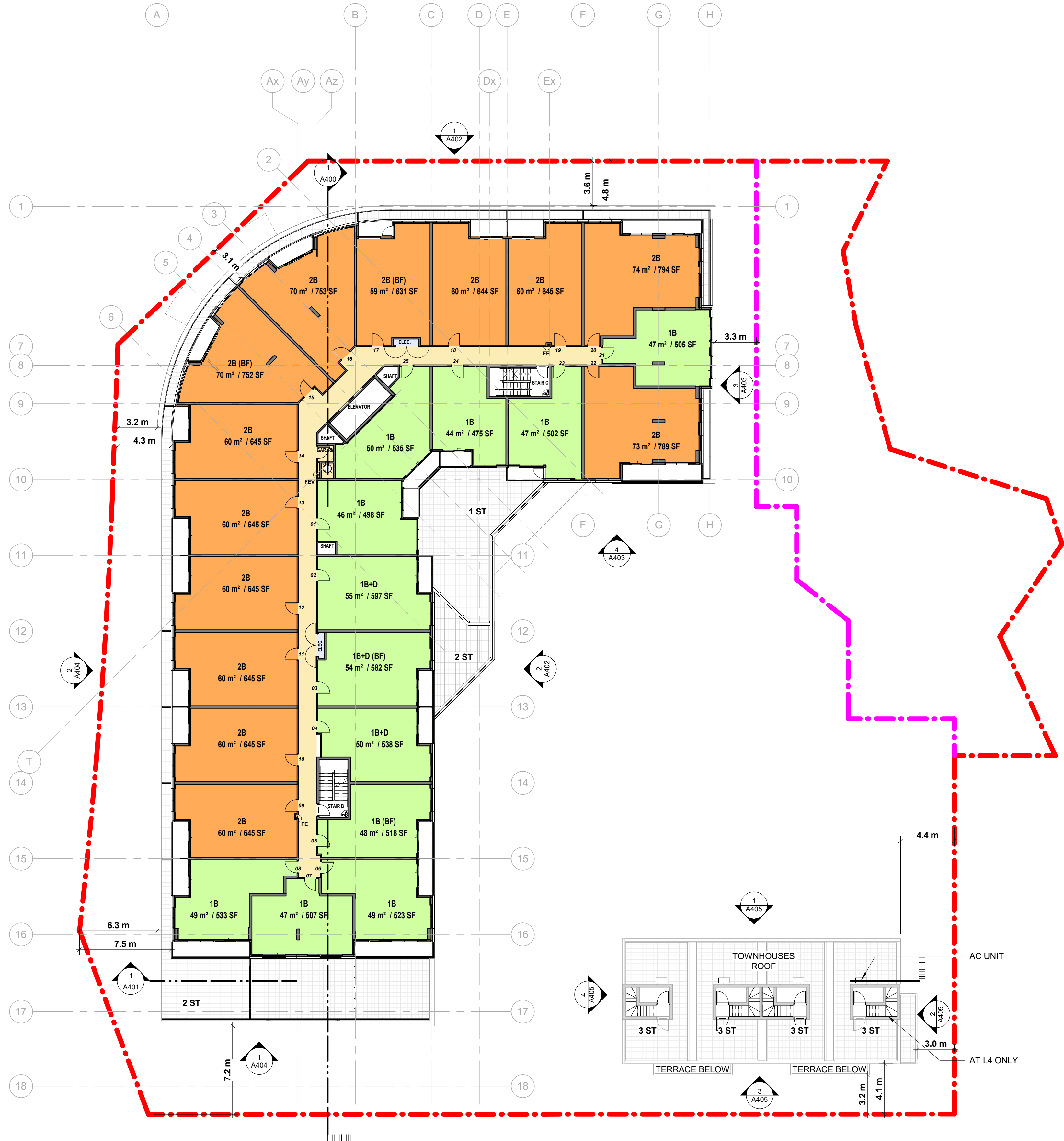
Project North
True North

DRAWN BY:
PROJECT MGR:
SHEET TITLE
LEVEL 03

CHECKED BY:
APPROVED BY:
GR

SHEET NUMBER
A202

SCALE
1 : 200
DATE
2024-05-01
PROJ. NO.
134655



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KEY PLAN



ISSUES		
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01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

Project North

True North

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:

GR

SHEET TITLE
LEVEL 04-08

SCALE
1 : 200

DATE
2024-05-01

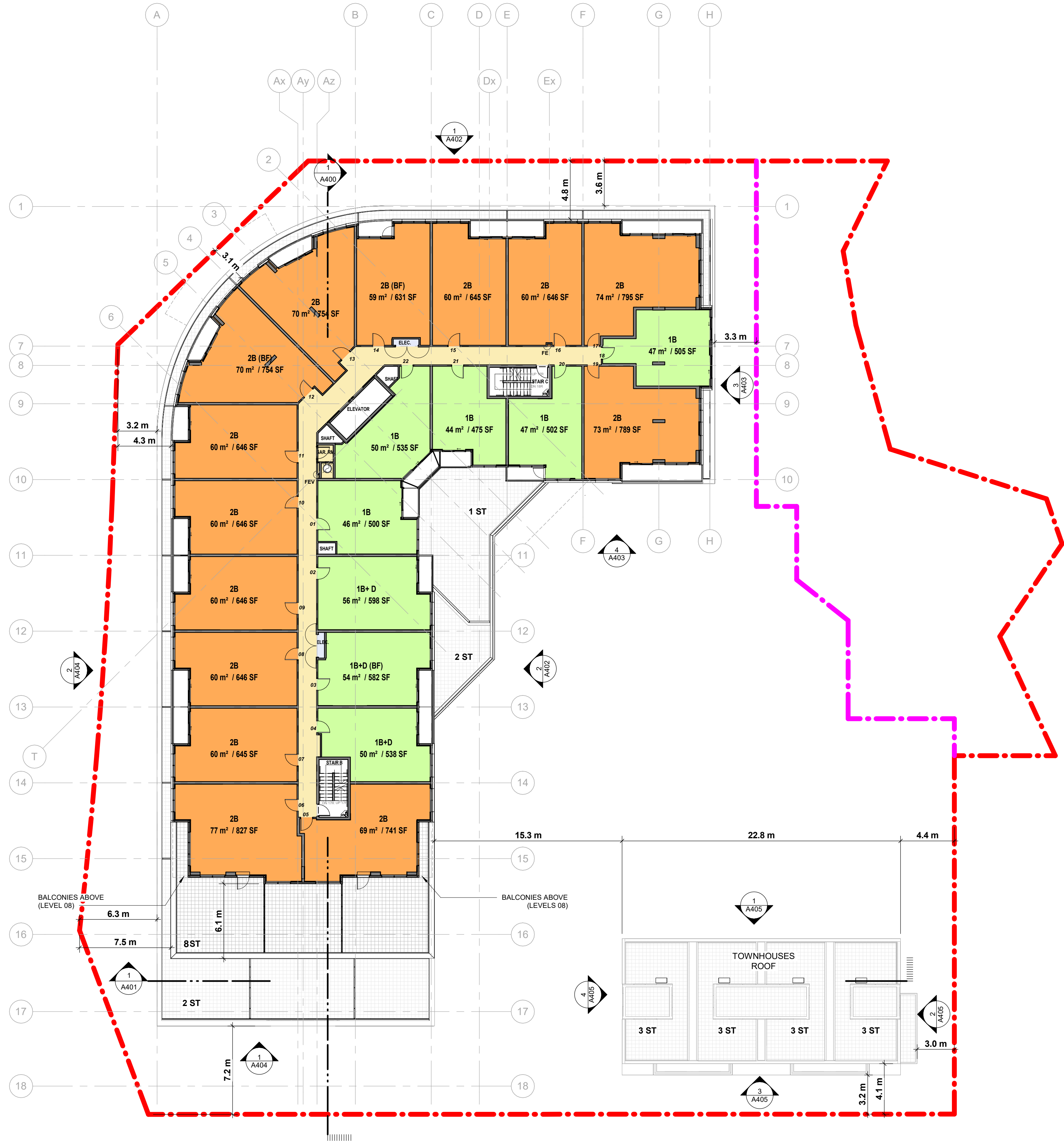
SHEET NUMBER

PROJ. NO:

A203

134655

SCALE CHECK
1" = 10mm



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KEY PLAN

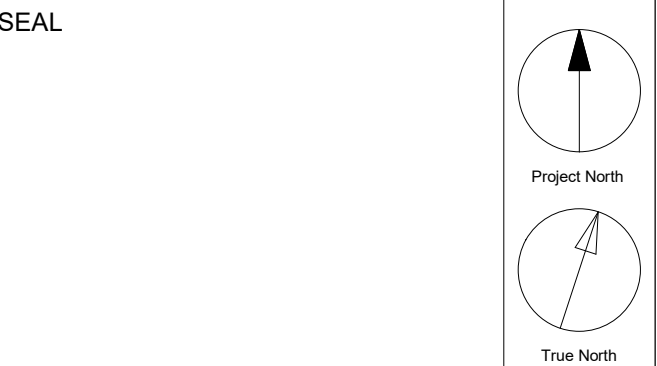


ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
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 - The building will be sprinklered.
 - All Levels interior lighting to meet OBC requirements.
 - The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
 - Indoor Unit Loading bay 150" x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
 - Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
 - Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
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 - Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



DRAWN BY: CHECKED BY:

PROJECT MGR: APPROVED BY:
GR

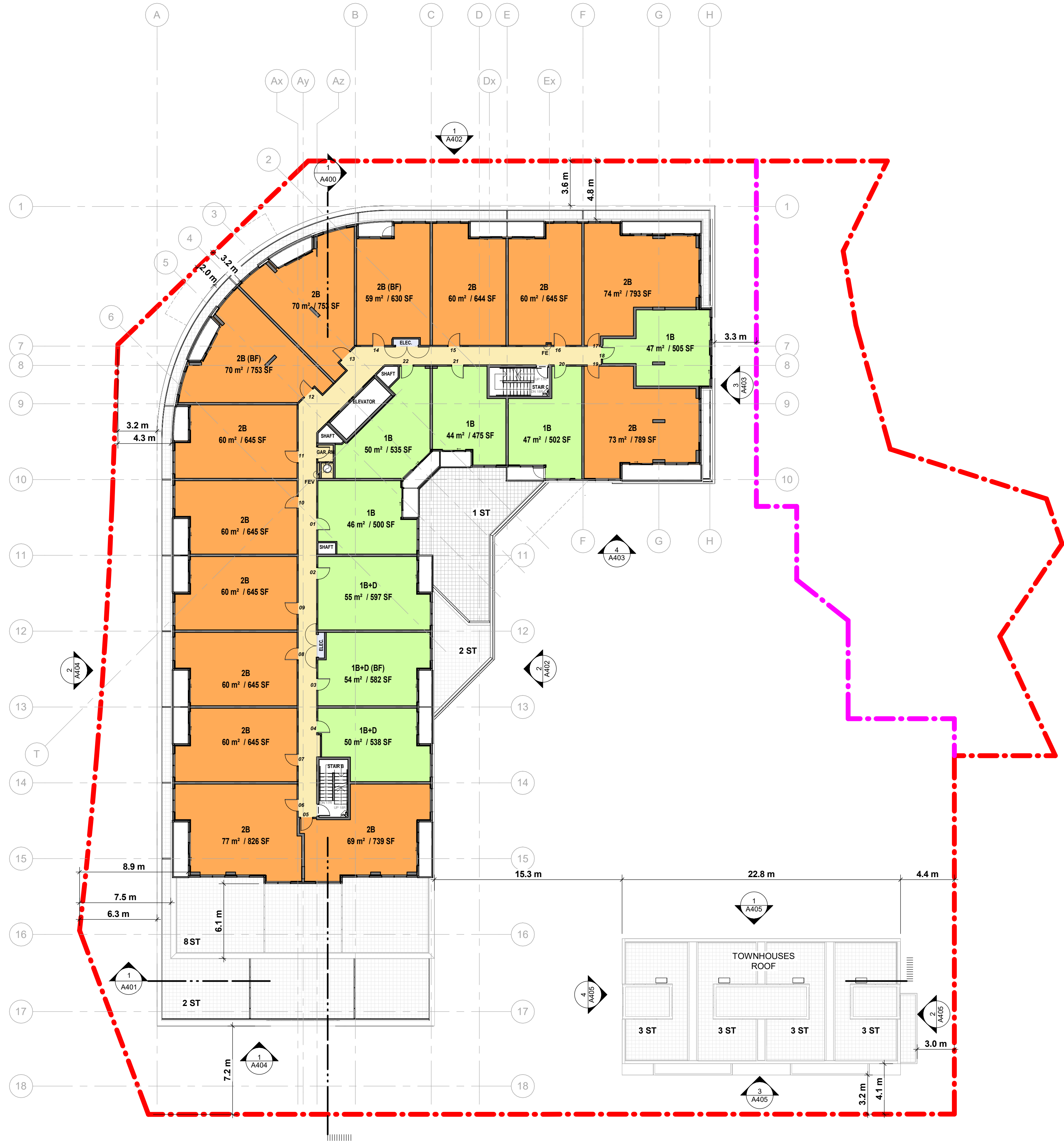
SHEET TITLE
LEVEL 11

SCALE
1 : 200

DATE
2024-05-01

SHEET NUMBER
A204

PROJ. NO:
134655



CLIENT
BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
- For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
 - For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
 - For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
 - The building will be sprinklered.
 - All Levels interior lighting to meet OBC requirements.
 - The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
 - Indoor Unit Loading bay 150" x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
 - Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
 - Staging pad area abutting the front of the type G loading space have an unnumbered vertical clearance of 7.5 m.
 - A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

Project North
True North

DRAWN BY:
PROJECT MGR:

CHECKED BY:
APPROVED BY:
GR

SHEET TITLE
LEVEL 10

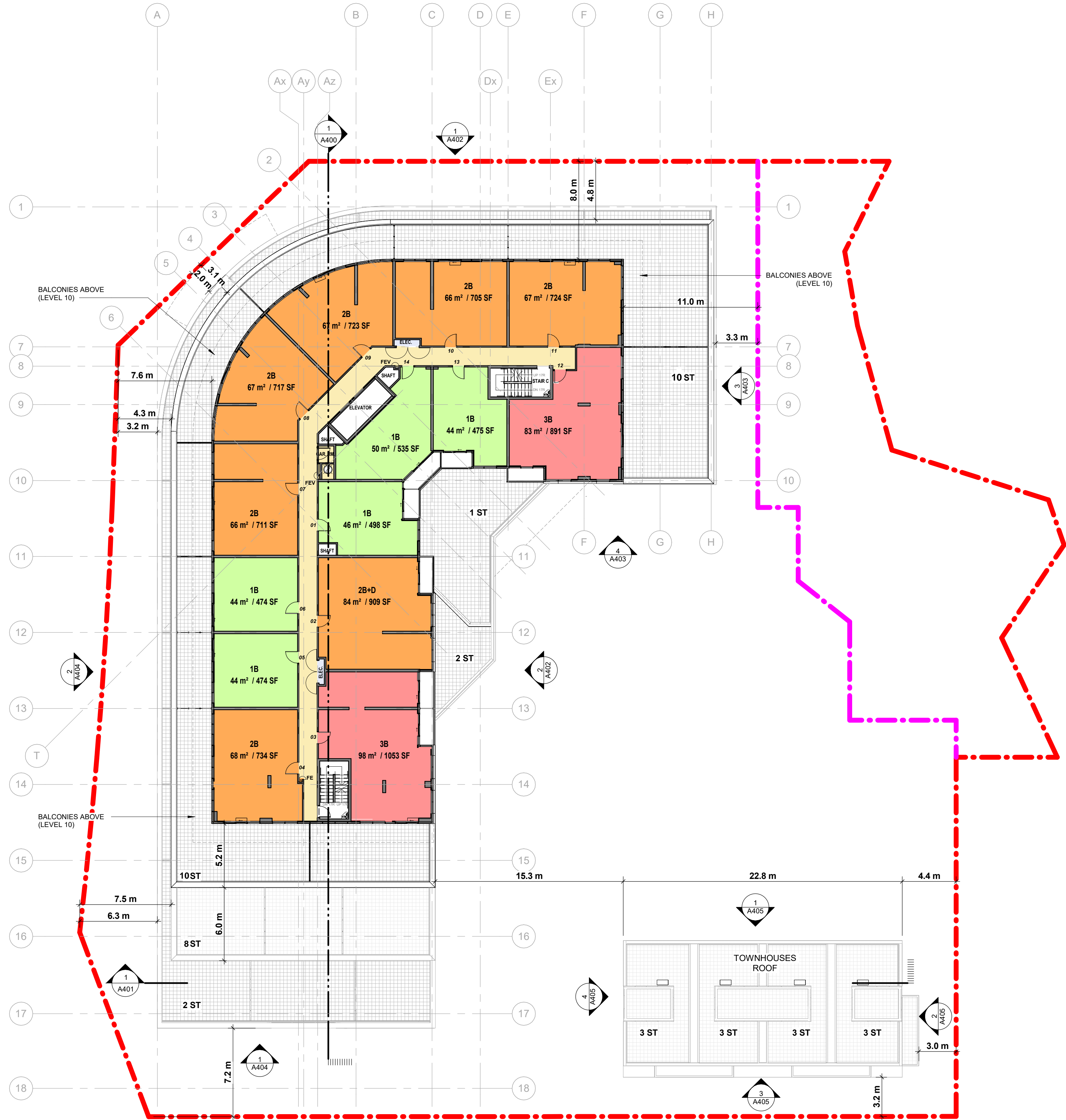
SCALE
1 : 200

DATE
2024-05-01

SHEET NUMBER
A205

PROJ. NO.
134655

SCALE CHECK
1" = 10mm



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KEY PLAN



ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

Project North
True North

DRAWN BY:
PROJECT MGR:

CHECKED BY:
APPROVED BY:
GR

SHEET TITLE
LEVEL 11

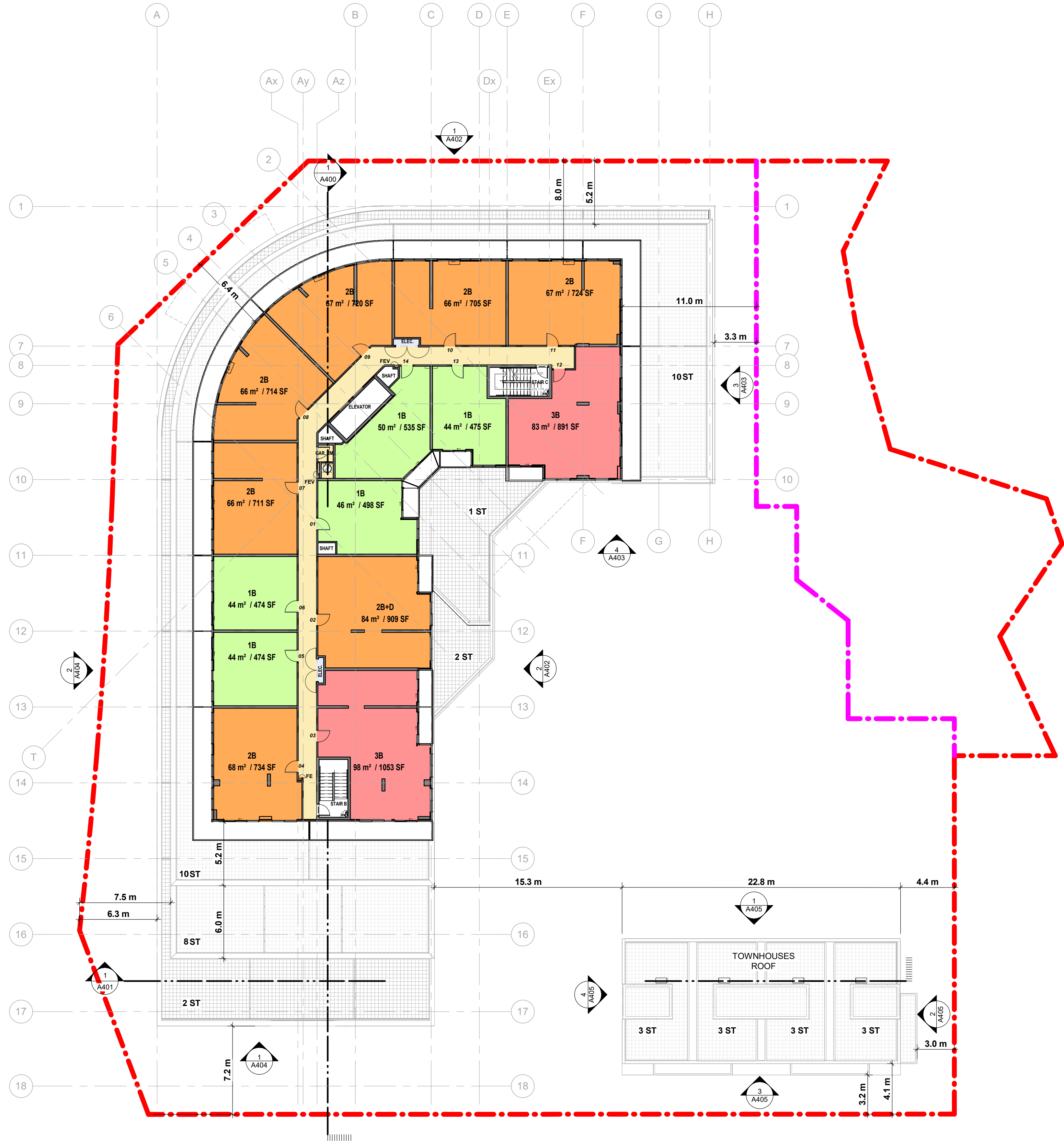
SCALE
1 : 200

DATE
2024-05-01

SHEET NUMBER
A206

PROJ. NO.
134655

SCALE CHECK
1" = 10m



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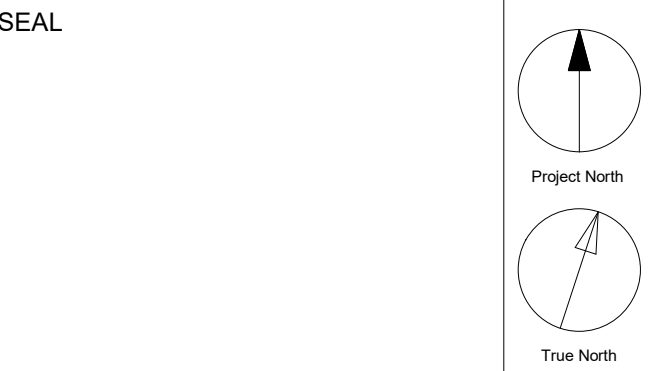


ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
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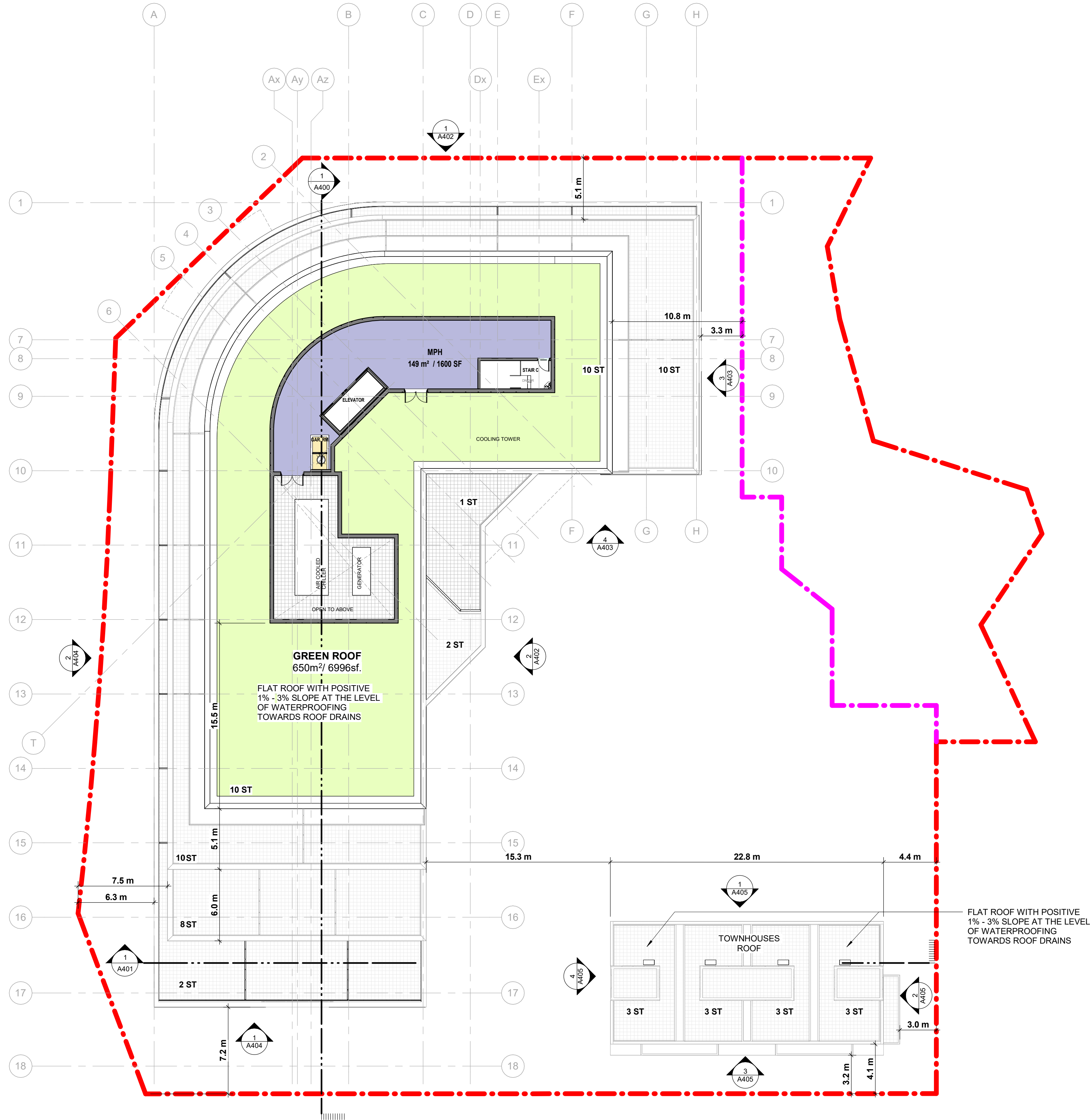
PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY: GR

SHEET TITLE	SCALE
LEVEL 12	1 : 200
DATE	2024-05-01

SHEET NUMBER	PROJ. NO:
A207	134655



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TORONTO, ON, M3B 1Z3

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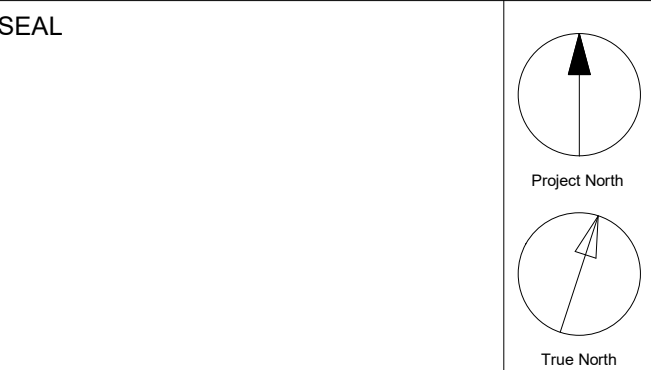
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

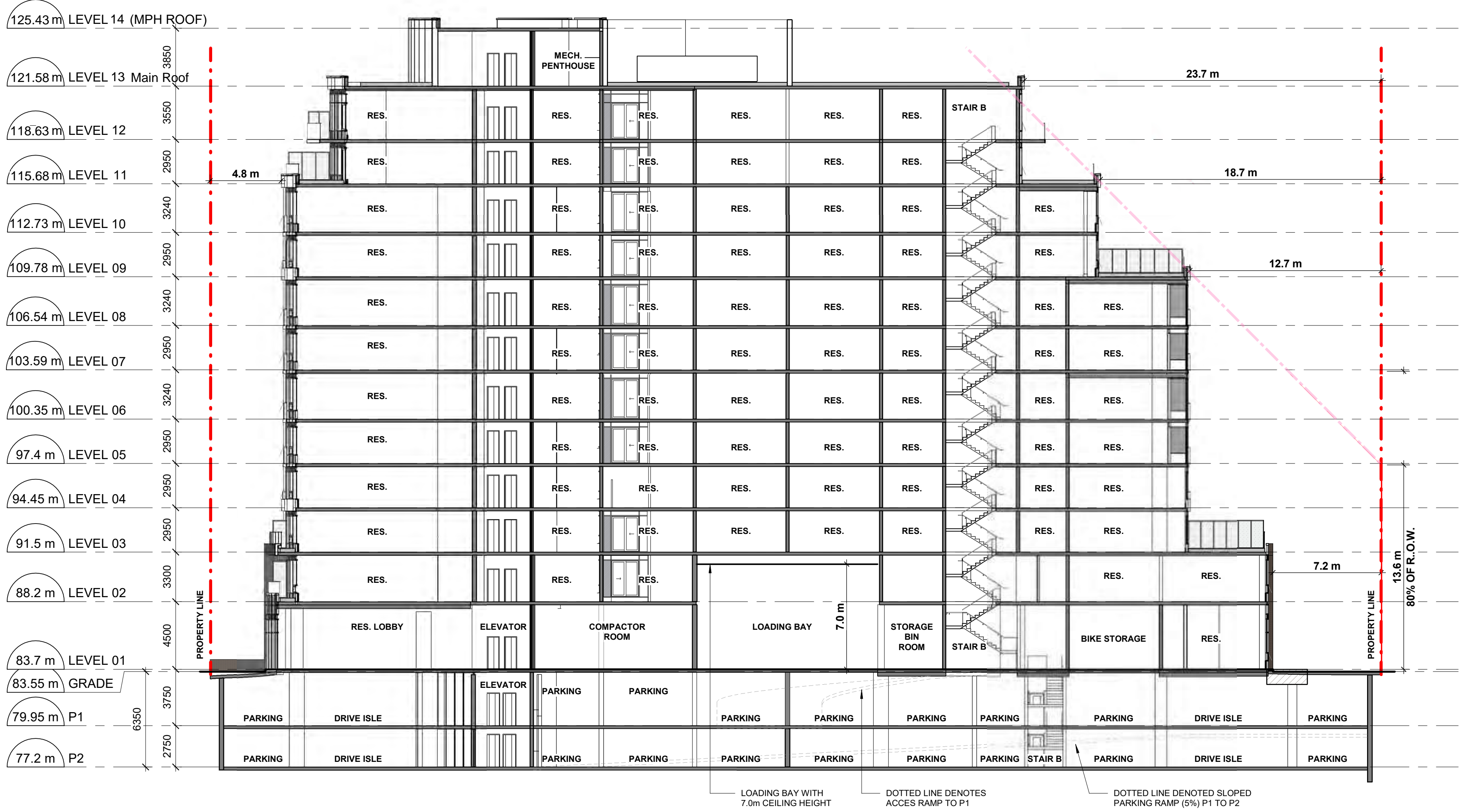
- For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
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PRIME CONSULTANT

PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



DRAWN BY:	CHECKED BY:
PROJECT MGR:	APPROVED BY: GR
SHEET TITLE LEVEL 13 (MPH)	SCALE 1 : 200
	DATE 2024-05-01
SHEET NUMBER A208	PROJ. NO. 134655



1 BUILDING SECTION 1 (NORTH - SOUTH)
A400 Scale: 1 : 200

CLIENT
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210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN



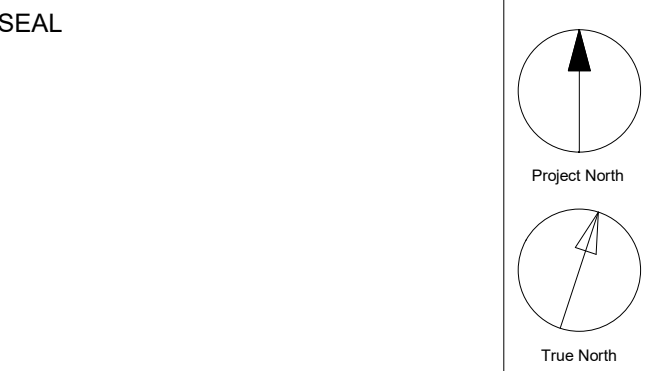
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

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PROJECT
101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO



DRAWN BY:
PROJECT MGR:

CHECKED BY:
APPROVED BY:
GR

SHEET TITLE
BUILDING SECTION 1
(EAST - WEST)

SCALE
1 : 200

DATE
2024-05-01

SHEET NUMBER
A400

PROJ. NO.
134655



1 BUILDING SECTION 3 (EAST - WEST)
A401 Scale: 1 : 200

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TORONTO, ON, M3B 1Z3

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KEY PLAN

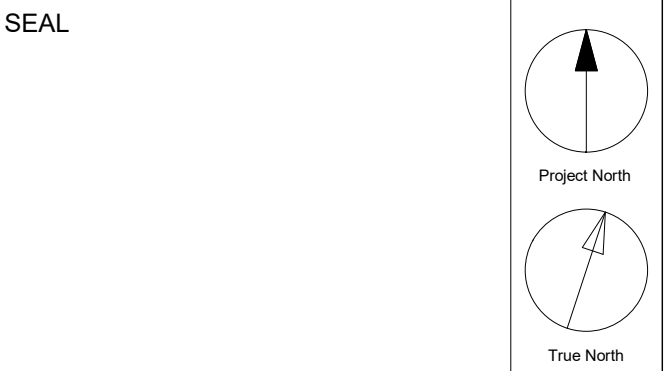


ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
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PRIME CONSULTANT

PROJECT
**101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO**

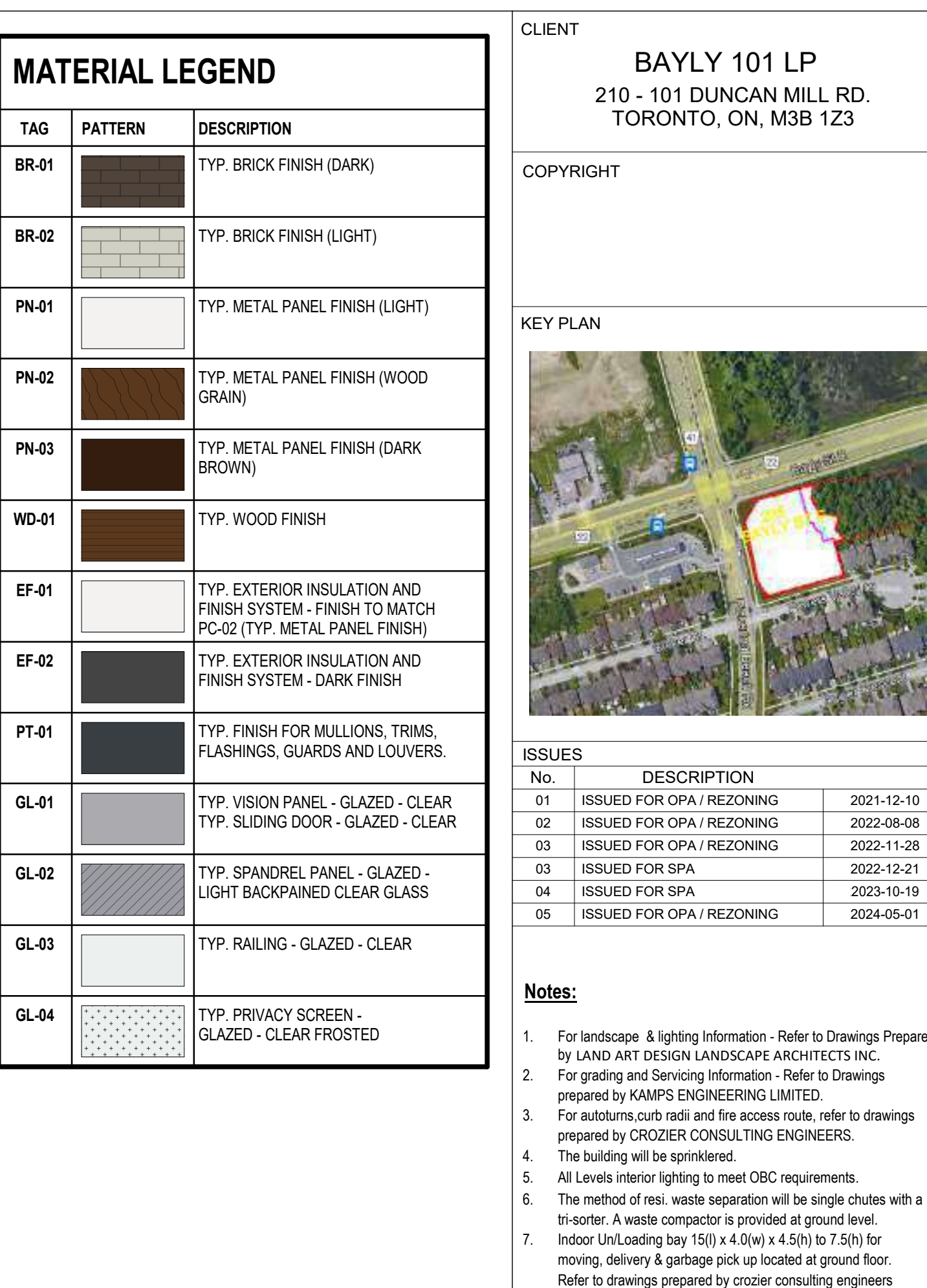


DRAWN BY: CHECKED BY:
PROJECT MGR: APPROVED BY:
GR

SHEET TITLE
**BUILDING SECTION 2
(EAST - WEST)**

SHEET NUMBER
A401

SCALE
1 : 200
DATE
2024-05-01
PROJ. NO.
134655
SCALE CHECK
1 x



The drawing shows a multi-story building facade with a stepped profile. The left side features a vertical dimension line with levels from GRADE (83.55 m) to LEVEL 14 (125.43 m). The right side contains a material schedule with items like 'TYP. EIFS SYSTEM PANEL', 'TYP. MECHANICAL ROOFTOP UNIT', and 'TYP. VISION PANEL - FIXED - GLAZED - CLEAR', each associated with a material code (e.g., EF-01, PN-01, GL-01).

Left Side Dimensions and Levels:

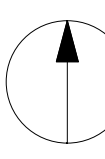

- 125.43 m LEVEL 14 (MPH ROOF)
- 121.58 m Main Roof
- 118.63 m LEVEL 12
- 115.68 m LEVEL 11
- 112.73 m LEVEL 10
- 109.78 m LEVEL 09
- 106.54 m LEVEL 08
- 103.59 m LEVEL 07
- 100.35 m LEVEL 06
- 97.4 m LEVEL 05
- 94.45 m LEVEL 04
- 91.5 m LEVEL 03
- 88.2 m LEVEL 02
- 83.7 m LEVEL 01
- 83.55 m GRADE

Right Side Material Schedule:

- TYP. EIFS SYSTEM PANEL (EF-01)
- TYP. MECHANICAL ROOFTOP UNIT (PN-01)
- TYP. METAL PANEL (GL-01, PT-01)
- TYP. VISION PANEL - FIXED - GLAZED - CLEAR (GL-01, PT-01)
- TYP. SLIDING DOOR - GLAZED - CLEAR (PT-01)
- TYP. METAL PANEL TRIM (GL-03, PT-01)
- TYP. GLAZED RAILING SYSTEM (PT-01)
- TYP. METAL LOUVER (GL-02)
- TYP. SPANDREL PANEL - GLAZED - BACKPAINTED (GL-01, PT-01)
- TYP. OPERABLE VISION PANEL - GLAZED - CLEAR (PT-01)
- TYP. MULLION (GL-04, PT-01)
- TYP. METAL PANEL (BR-01)
- TYP. GLAZED PRIVACY SCREEN (PT-01)
- TYP. BRICK FINISH (DARK) (PT-01)
- TYP. OVERHEAD DOOR - FINISH TO MATCH MULLIONS (PT-01)
- TYP. CANOPY WITH METAL PANEL FINISH (GL-01, PT-01)
- TYP. GLAZED SWING DOOR (GL-01, PT-03)
- TYP. GLAZED SWING DOOR W/ ACCENT TRIM (GL-01, PT-03)

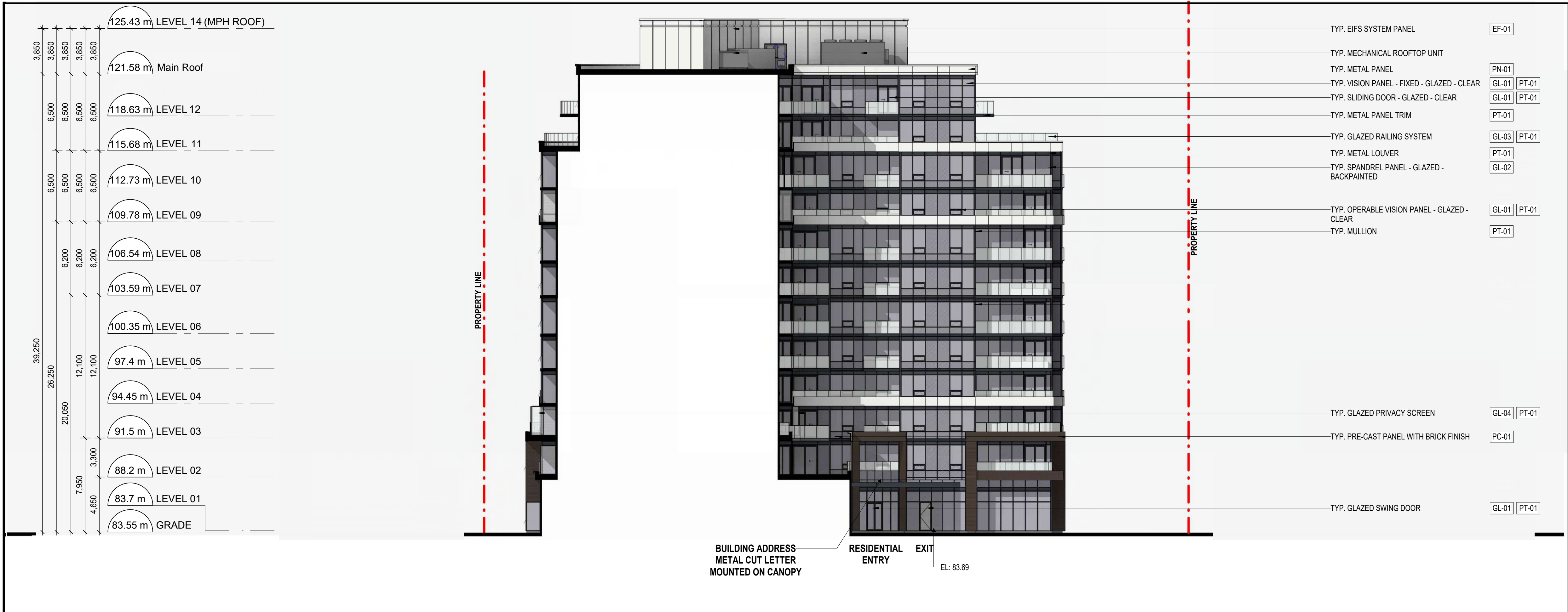
Bottom Labels:

- PAD-MOUNTED TRANSFORMER DECORATED WITH VINYL UTILITY BOX WRAPPER BY STREET GRAFFITI SOLUTIONS OR APPROVED ALTERNATIVE
- EL: 83.60
- UNIT ENTRY
- BIKE ROOM ENTRY
- EXIT EXIT
- GR ENTRY
- LOADING ENTRY
- EXIT
- EL: 83.60
- RESIDENTIAL ENTRY
- EL: 83.69

<ol style="list-style-type: none"> 8. Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%. 9. Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m. 10. A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day. 11. A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via off door. 12. A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs. 13. The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection. 14. For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC. 15. Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres. 	<p>PRIME CONSULTANT</p>
<p>PROJECT</p> <p>101 PICKERING BEACH RD & 235 BAYLY ST. E. AJAX, ONTARIO</p>	<p>SEAL</p> <div style="text-align: right;">  <p>Project North</p>  <p>True North</p> </div>
<p>DRAWN BY:</p>	<p>CHECKED BY:</p>
<p>PROJECT MGR:</p>	<p>APPROVED BY: GR</p>
<p>SHEET TITLE</p> <p>NORTH & EAST ELEVATION</p>	
<p>SHEET NUMBER</p> <p>A402</p>	<p>SCALE</p> <p>As indicated</p> <p>DATE</p> <p>2024-05-0</p> <p>PROJ. N</p> <p>134655</p>



3 ELEVATION - EAST (PART 2)
A403 Scale: 1 : 200



4 ELEVATION - SOUTH (PART 1)
A403 Scale: 1 : 200

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT

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TORONTO, ON, M3B 1Z3

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KEY PLAN

ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

1.

For landscape & lighting Information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

2.

For grading and Servicing Information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

3.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

4.

The building will be sprinklered.

5.

All Levels interior lighting to meet OBC requirements.

6.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

7.

Indoor Unit Loading bay 150" x 4 0(w) x 4 5(h) to 7 5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers

8.

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

9.

Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.

10.

A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagmen when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

11.

A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.

12.

A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.

13.

The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

14.

For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.

15.

Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:
GR

SHEET TITLE

EAST & SOUTH
ELEVATION

SHEET NUMBER

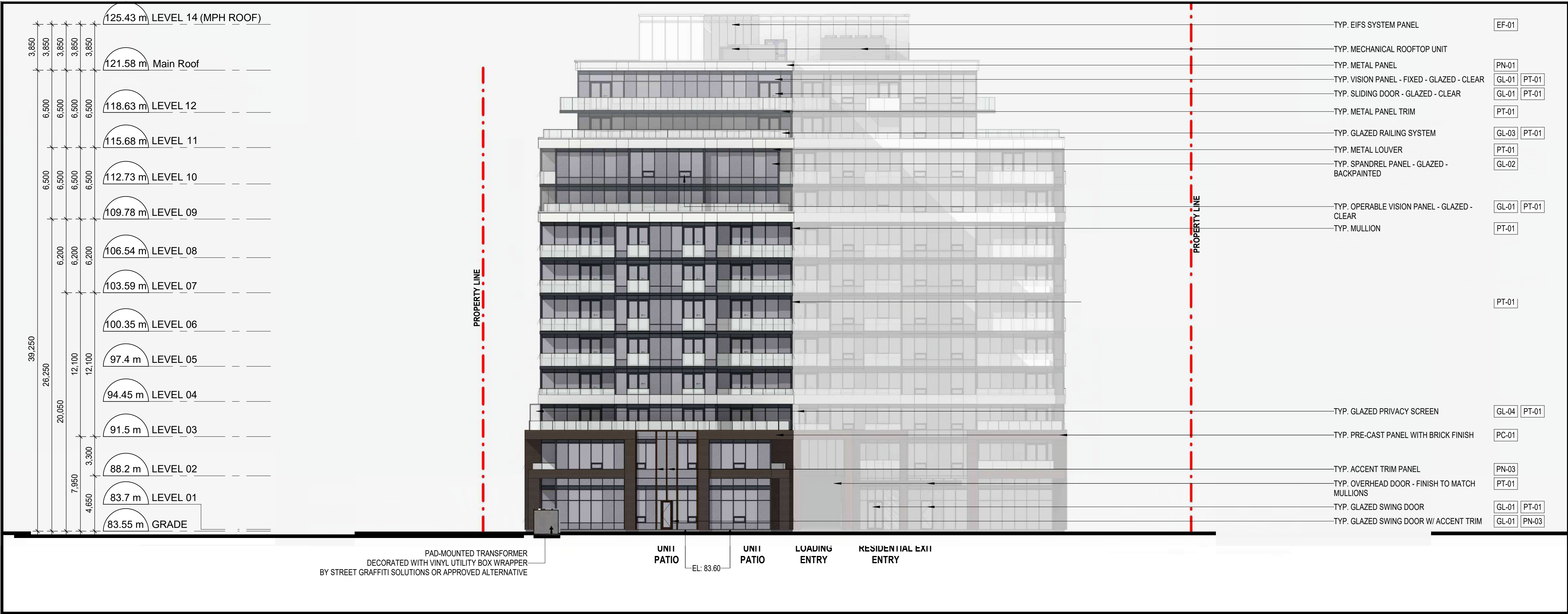
A403

SCALE

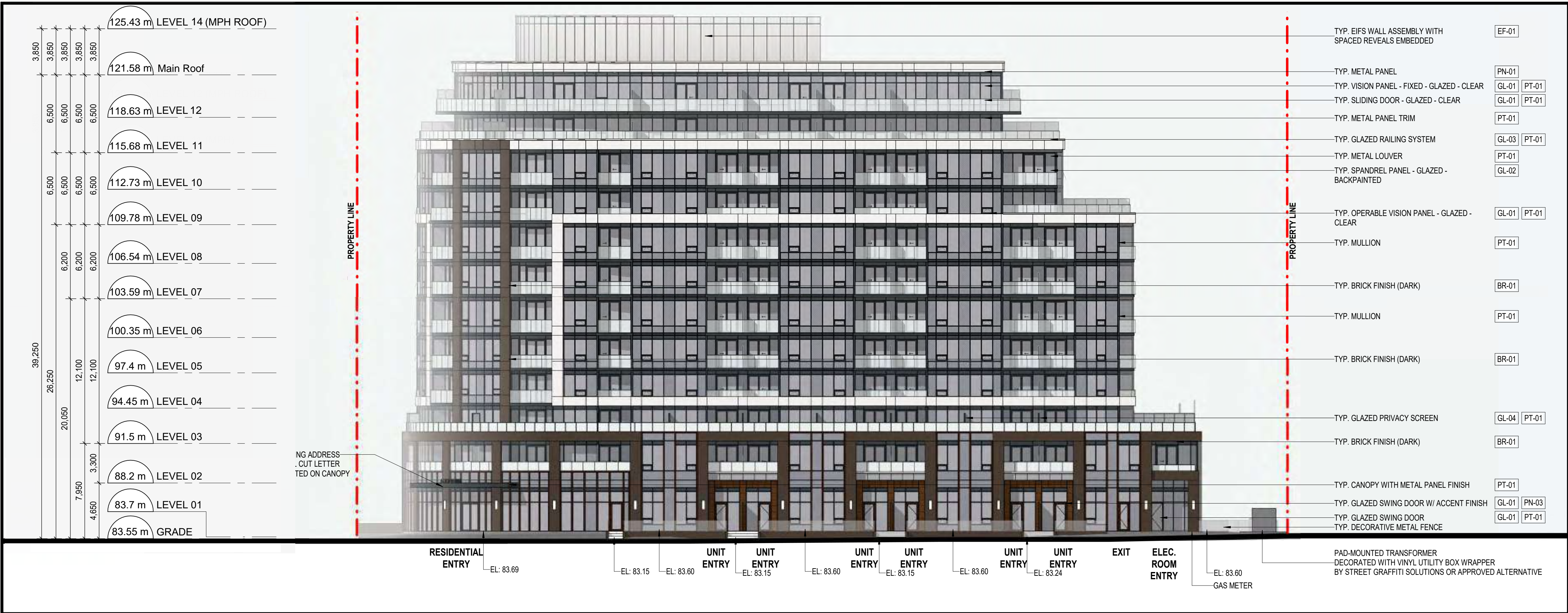
As
Indicated
DATE
2024-05-01

PROJ. NO.

134655



1 ELEVATION - SOUTH (PART 2)



2 ELEVATION - WEST

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT

BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN

ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

- For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
- For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- The building will be sprinklered.
- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Unit Loading bay 150" x 4 0" (w) x 4 5" (h) to 7 5" (h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unnumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from to loading bay. The bins stored at this room will be moved to main waste storage area via off door.
- A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

Project North
True North

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:
GR

SHEET TITLE

SCALE

As Indicated
DATE
2024-05-01

SHEET NUMBER

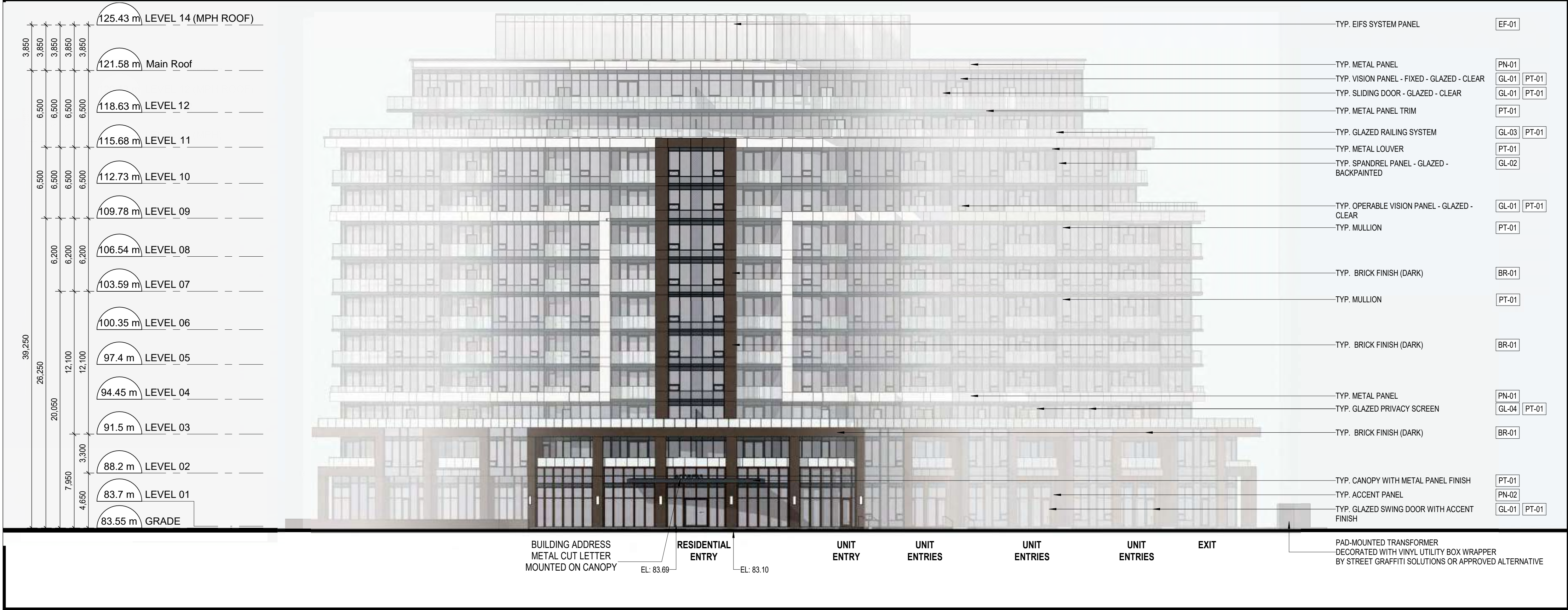
PROJ. NO:

134655

A404

SCALE CHECK

1" = 10m



1 ELEVATION - NORTH-WEST
A404.1 Scale: 1 : 200



2 ELEVATION - SOUTH-EAST
A404.1 Scale: 1 : 200

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT

BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN

ISSUES

No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

1.

For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.

2.

For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.

3.

For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.

4.

The building will be sprinklered.

5.

All Levels interior lighting to meet OBC requirements.

6.

The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.

7.

Indoor Unit loading bay 1500 x 4.0m x 4.5m to 7.5m for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers

8.

Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.

9.

Staging pad area abutting the front of the type G loading space have an unobstructed vertical clearance of 7.5 m.

10.

A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.

11.

A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via off door.

12.

A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. This warning system should include both lights and signs.

13.

The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.

14.

For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.

15.

Survey Benchmark: Elevations shown herein are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:
GR

SHEET TITLE

SCALE

NORTH-WEST AND
SOUTH-EAST
ELEVATIONS

As
Indicated
DATE
2024-05-01

SHEET NUMBER

PROJ. NO.

A404.1

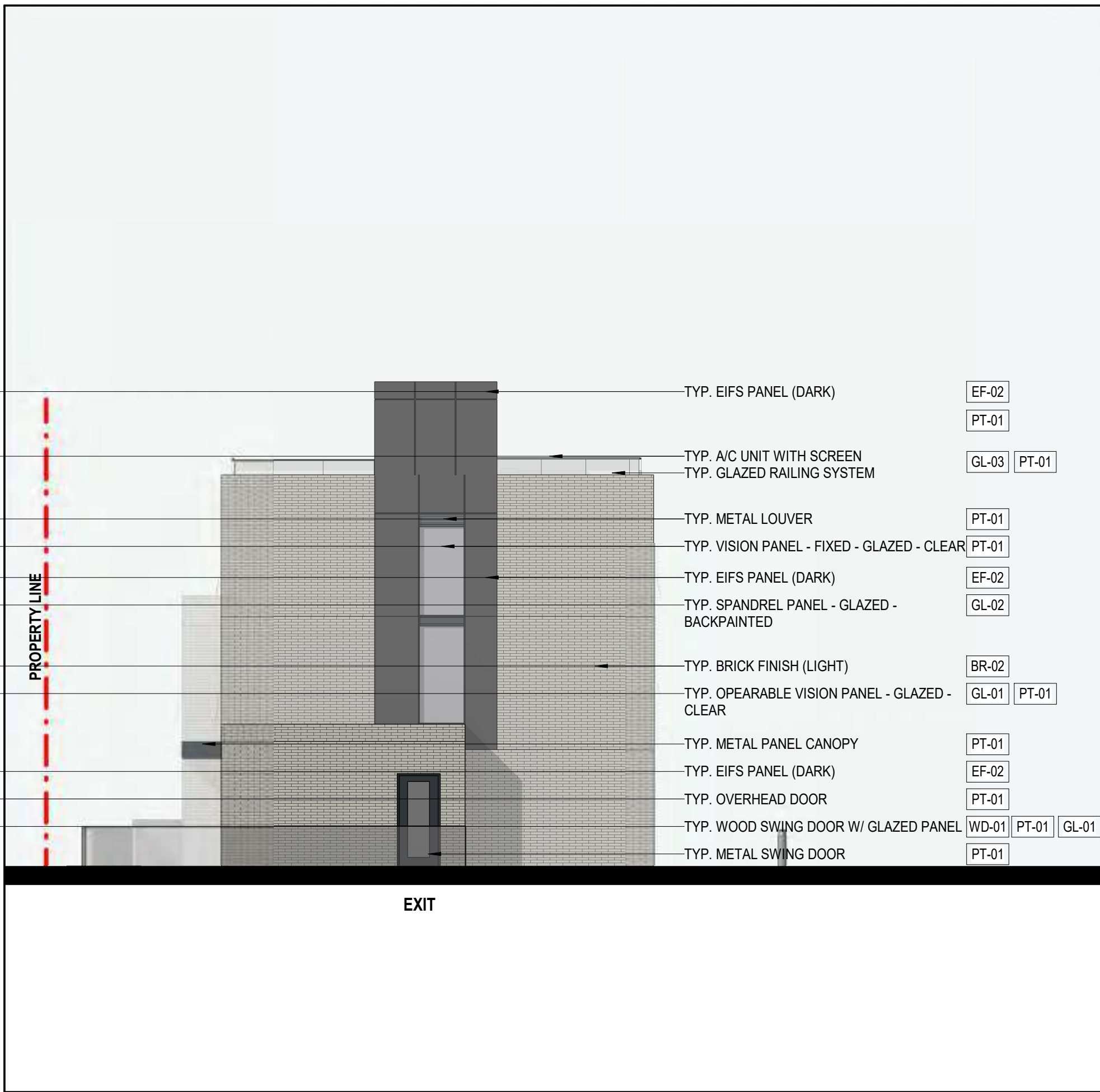
134655



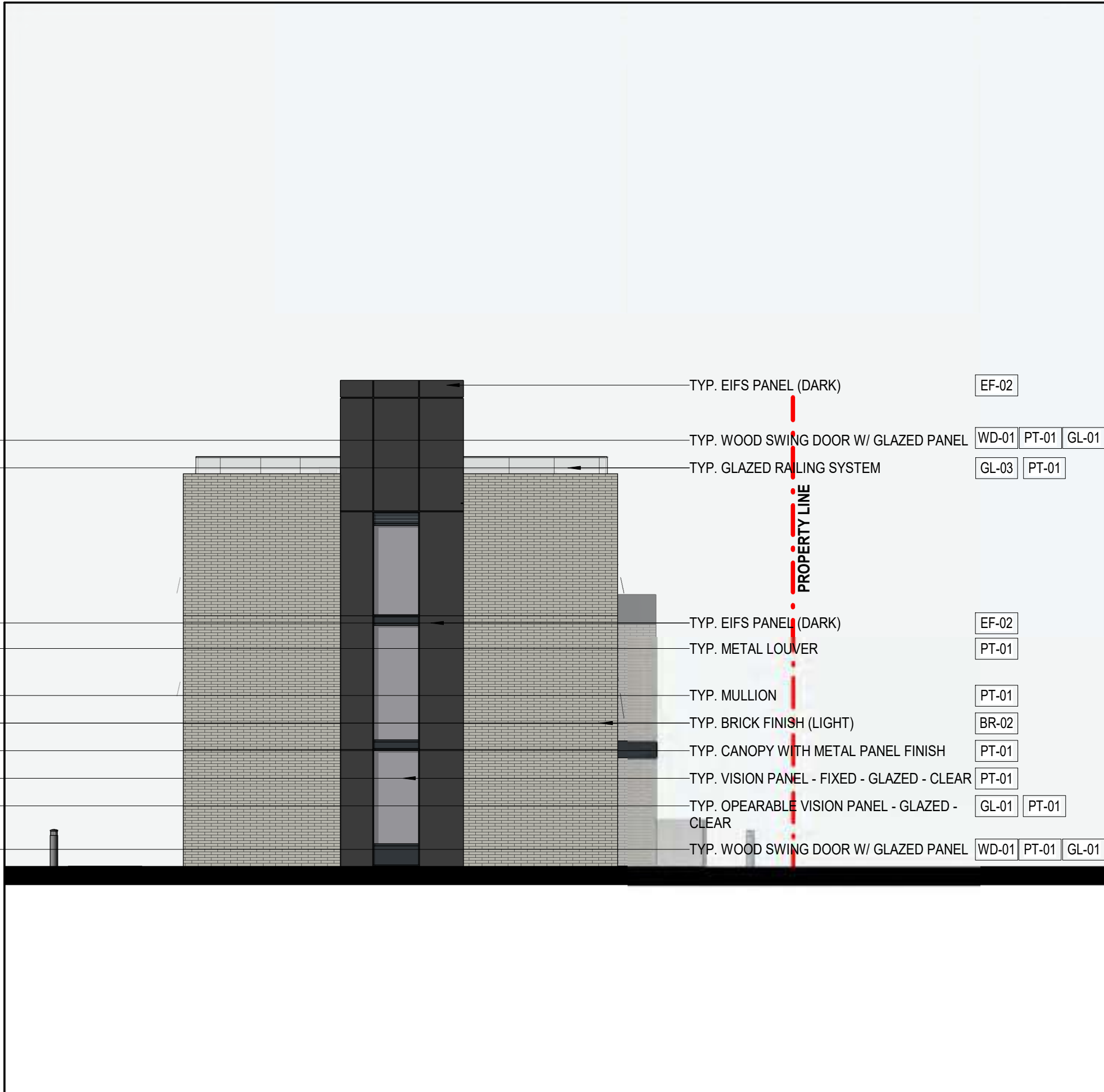
1 ELEVATION - TOWNHOUSE - NORTH
A405 Scale: 1 : 100



3 ELEVATION - TOWNHOUSE - SOUTH
A405 Scale: 1 : 100



2 ELEVATION - TOWNHOUSE - EAST
A405 Scale: 1 : 100



4 ELEVATION - TOWNHOUSE - WEST
A405 Scale: 1 : 100

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT

BAYLY 101 LP
210 - 101 DUNCAN MILL RD.
TORONTO, ON, M3B 1Z3

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KEY PLAN

ISSUES

No.	DESCRIPTION	DATE
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
04	ISSUED FOR SPA	2022-12-21
05	ISSUED FOR SPA	2023-10-19
06	ISSUED FOR OPA / REZONING	2024-05-01

Notes:

- For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
- For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
- For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
- The building will be sprinklered.
- All Levels interior lighting to meet OBC requirements.
- The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
- Indoor Unit Loading bay (50' x 4.0'w) x 4.5'w) to 7.5'w) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
- Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
- Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
- A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagmen when the truck is reversing. in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
- A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.
- A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
- The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
- For survey credit, refer to survey drawing prepared by RAJIS SURVEYING INC.
- Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT

PROJECT

101 PICKERING BEACH
RD & 235 BAYLY ST E.
AJAX, ONTARIO

SEAL

DRAWN BY:

CHECKED BY:

PROJECT MGR:

APPROVED BY:
GR

SHEET TITLE

TOWNHOUSE
ELEVATIONS

SHEET NUMBER

A405

SCALE

As
Indicated
DATE
2024-05-01

PROJ. NO.

134655

2024-05-01 7:05:33 PM



1 ELEVATION - TOWNHOUSE - SOUTH (1to50)
A408 Scale: 1 : 1

MATERIAL LEGEND		
TAG	PATTERN	DESCRIPTION
BR-01		TYP. BRICK FINISH (DARK)
BR-02		TYP. BRICK FINISH (LIGHT)
PN-01		TYP. METAL PANEL FINISH (LIGHT)
PN-02		TYP. METAL PANEL FINISH (WOOD GRAIN)
PN-03		TYP. METAL PANEL FINISH (DARK BROWN)
WD-01		TYP. WOOD FINISH
EF-01		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - FINISH TO MATCH PC-02 (TYP. METAL PANEL FINISH)
EF-02		TYP. EXTERIOR INSULATION AND FINISH SYSTEM - DARK FINISH
PT-01		TYP. FINISH FOR MULLIONS, TRIMS, FLASHINGS, GUARDS AND LOUVERS.
GL-01		TYP. VISION PANEL - GLAZED - CLEAR TYP. SLIDING DOOR - GLAZED - CLEAR
GL-02		TYP. SPANDREL PANEL - GLAZED - LIGHT BACKPAINTED CLEAR GLASS
GL-03		TYP. RAILING - GLAZED - CLEAR
GL-04		TYP. PRIVACY SCREEN - GLAZED - CLEAR FROSTED

CLIENT		
BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3		
COPYRIGHT		
KEY PLAN		
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01

- Notes:**
- For landscape & lighting information - Refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.
 - For grading and Servicing information - Refer to Drawings prepared by KAMPS ENGINEERING LIMITED.
 - For autoturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.
 - The building will be sprinklered.
 - All Levels interior lighting to meet OBC requirements.
 - The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.
 - Indoor Unit Loading bay 150" x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineers
 - Loading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.
 - Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.
 - A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagmen when the truck is reversing, in the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.
 - A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via o/h door.
 - A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.
 - The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.
 - For survey credit, refer to survey drawing prepared by RAJIS SURVEYING INC.
 - Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.

PRIME CONSULTANT		
PROJECT		
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO		
SEAL		
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY: GR	
SHEET TITLE		SCALE
TYPICAL TOWNHOUSE 1to50 ELEVATION		As Indicated DATE 2024-05-01
SHEET NUMBER		PROJ. NO:
A408		134655

10mm
1"=



EXTERIOR WALL - DARK BRICK MASONRY
ENDICOTT DARK IRONSPOT (SMOOTH) - THAMES VALLEY OR SIMILAR



EXTERIOR GLAZING - CLEAR GLASS
TRULITE 154 OR SIMILAR
- SPANDREL LOW REFLECTANCE GLASS PANELS TO MATCH EXTERIOR GLAZING
- GLASS BALUSTRADES TO MATCH EXTERIOR GLAZING
- GLASS ENTRY DOORS TO MATCH EXTERIOR GLAZING
- GLASS ENTRY CANOPY TO MATCH EXTERIOR GLAZING



MULLIONS, METAL RAILING,
& LOUVERS - GRAY
ECLIPSE GRAY - PPG DURANAR LIQUID COATING OR SIMILAR

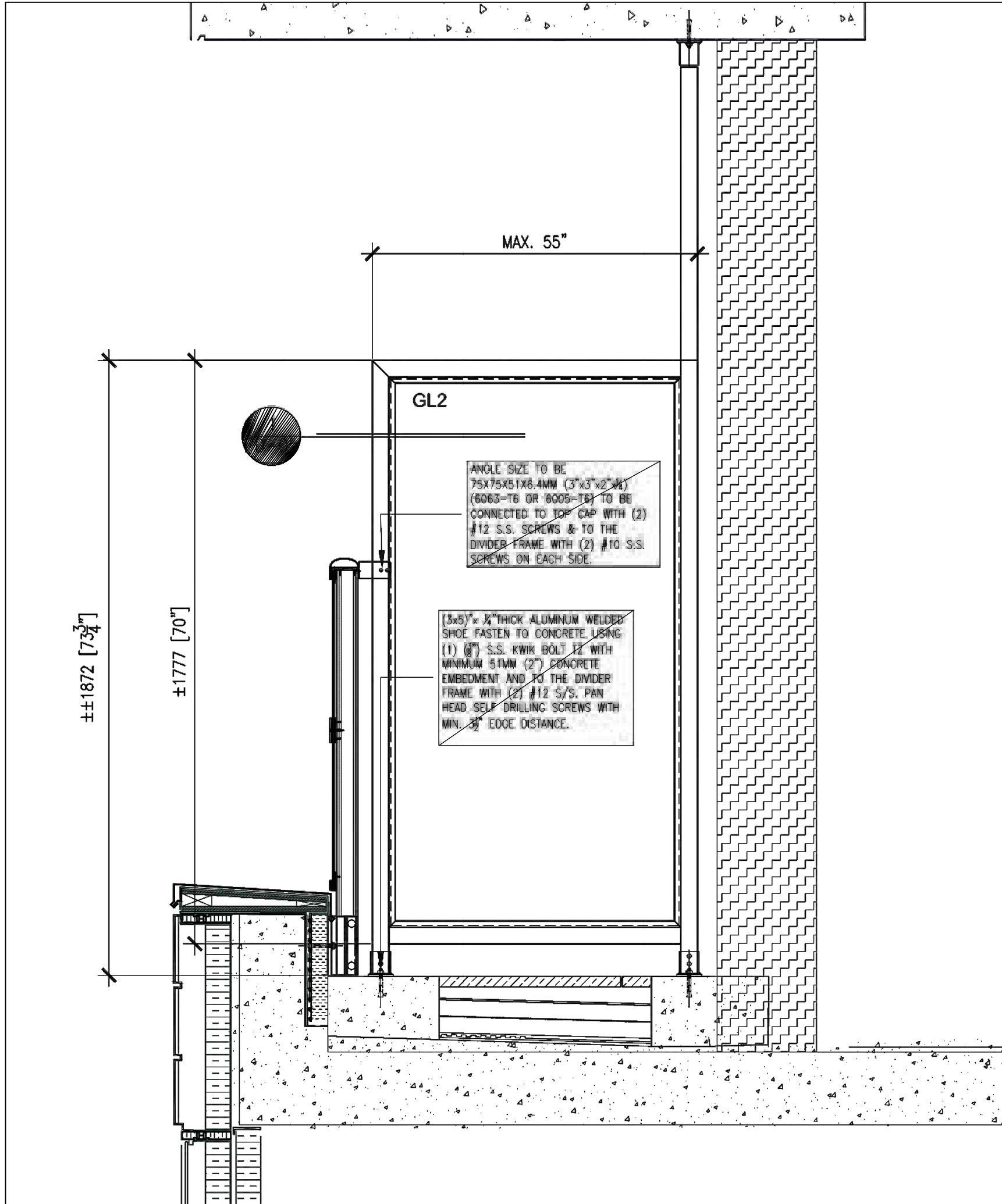


OVER HEAD DOOR - COLOR TO MATCH MULLIONS
CHARCOAL GRAY - PPG DURANAR LIQUID COATING OR SIMILAR



PATIO PARTITIONS - FROSTED GLASS

PATIO PARTITIONS - TYPICAL DETAIL



CLIENT		
BAYLY 101 LP 210 - 101 DUNCAN MILL RD. TORONTO, ON, M3B 1Z3		
COPYRIGHT		
KEY PLAN		
ISSUES		
No.	DESCRIPTION	
01	ISSUED FOR OPA / REZONING	2021-12-10
02	ISSUED FOR OPA / REZONING	2022-08-08
03	ISSUED FOR OPA / REZONING	2022-11-28
03	ISSUED FOR SPA	2022-12-21
04	ISSUED FOR SPA	2023-10-19
05	ISSUED FOR OPA / REZONING	2024-05-01
Notes:		
<ol style="list-style-type: none">For landscape & lighting Information, refer to Drawings Prepared by LAND ART DESIGN LANDSCAPE ARCHITECTS INC.For grading and Servicing Information, refer to Drawings prepared by KAMPS ENGINEERING LIMITED.For autolturns, curb radii and fire access route, refer to drawings prepared by CROZIER CONSULTING ENGINEERS.The building will be sprinklered.All Levels interior lighting to meet OBC requirements.The method of resi. waste separation will be single chutes with a tri-sorter. A waste compactor is provided at ground level.Indoor Un/Loading bay 15(l) x 4.0(w) x 4.5(h) to 7.5(h) for moving, delivery & garbage pick up located at ground floor. Refer to drawings prepared by crozier consulting engineersLoading bay and staging area are constructed of 200mm reinforced concrete and have a grade of no more than 2%.Staging pad area abutting the front of the type G loading space have an unencumbered vertical clearance of 7.5 m.A trained on-site staff member will be available to maneuver bins for the collection driver and also act as a flagman when the truck is reversing. In the event the on-site staff is unavailable at the time the city collection vehicle arrives at the site, the collection vehicle will leave the site and not return until the next scheduled collection day.A waste storage room for townhouse building is provided at ground level with access from/to loading bay. The bins stored at this room will be moved to main waste storage area via off door.A warning system to caution motorists leaving the parking garage of heavy vehicles when loading operations are occurring. this warning system should include both lights and signs.The residents moving schedule will be on different days from the collection days to ensure that the loading space will be vacant for city waste collection.For survey credit, refer to survey drawing prepared by RAVIS SURVEYING INC.Survey Benchmark: Elevations shown hereon are geodetic and are referred to town of Ajax bench mark no. 008820188073, having an elevation = 93.644 metres.		
PRIME CONSULTANT		
PROJECT		
101 PICKERING BEACH RD & 235 BAYLY ST E. AJAX, ONTARIO		
SEAL		
DRAWN BY:	CHECKED BY:	
PROJECT MGR:	APPROVED BY: GR	
SHEET TITLE		SCALE
BUILDING		DATE
MATERIAL BOARD		2024-05-01
SHEET NUMBER		PROJ. NO:
A600		134655