

Regional District of  
**Kitimat-Stikine**

RDKS ELECTORAL AREA C  
(GREATER TERRACE)  
ZONING BYLAW

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# RDKS Electoral Area C

ZONING BYLAW NO. #####

##### 2026

PREPARED BY:  
**WSP CANADA INC.**

PREPARED FOR:  
**REGIONAL DISTRICT OF KITIMAT-STIKINE**



# THE CORPORATION OF THE REGIONAL DISTRICT OF KITIMAT-STIKINE

## ELECTORAL AREA C ZONING BYLAW ###

A Bylaw to provide zoning for orderly, economic, social, and environmentally sensitive development in Electoral Area C of the Regional District of Kitimat-Stikine

WHEREAS, the Regional District of Kitimat-Stikine has adopted an Official Community Plan pursuant to the *Local Government Act, [RSBC 2015], Chapter 1;*

WHEREAS, it is desirable and expedient to enact a Zoning Bylaw which is applicable to the Official Community Plan; and

THEREFORE, the Board of Directors for the Regional District of Kitimat-Stikine, in open meeting duly assembled, ENACTS AS FOLLOWS:

Title

1. This Bylaw shall be cited as the Regional District of Kitimat-Stikine Electoral Area C Zoning Bylaw No. XXXX, 2026.
2. This Bylaw may also be cited in its short form as the Electoral Area C Zoning Bylaw.

Enactment

3. This Bylaw shall come into force and effect on the final passage thereof.

Read a first time on the \_\_\_ day of \_\_\_\_, 2026.

Read a second time on the \_\_\_ day of \_\_\_\_, 2026.

A Public Hearing was held on the \_\_\_ day of \_\_\_\_, 2026.

Read a third time on the \_\_\_ day of \_\_\_\_, 2026.

Approved pursuant to section 52(3)(a) of the *Transportation Act* on the \_\_\_ day of \_\_\_\_, 2026.

Adopted on the \_\_\_ day of \_\_\_\_, 2026.

\_\_\_\_\_  
[Name], Board Chair

\_\_\_\_\_  
[Name], Chief Administrative Officer



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# PART I - ADMINISTRATION AND ENFORCEMENT

## I.1 TITLE

- 1.1.1 This Bylaw may be cited as the “Regional District of Kitimat-Stikine Electoral Area C Zoning Bylaw No. XXXX, 2026”.
- 1.1.2 This Bylaw may also be cited in its short form as the “Electoral Area C Zoning Bylaw”, and further referred to herein as “this Bylaw”.

## I.2 SCHEDULES

- 1.2.1 Schedules A (Bylaw text) and B (Zoning Map) form part of this Bylaw.

## I.3 APPLICATION

- 1.3.1 The provisions of this Bylaw shall apply to the land within the boundaries of Electoral Area C of the Regional District of Kitimat-Stikine and to the uses, buildings, and structures thereon.
- 1.3.2 Wherever the requirements of this Bylaw are at variance with the requirements of other bylaws, regulations, statutes, or covenants, the more restrictive or that imposes the higher standard shall govern;
- 1.3.3 Where this Bylaw sets out both general and specific regulations that could apply to a situation, the specific regulation shall apply.
- 1.3.4 The boundaries of Electoral Area C are subject to change.

## I.4 ZONING MAP

- 1.4.1 Electoral Area C of the Regional District of Kitimat-Stikine is divided into land use zones and the boundaries of those zones are shown on the zoning map, attached as Schedule B, forming part of this Bylaw.

## I.5 ZONE BOUNDARIES

The boundaries on the zoning maps shall be interpreted as follows:

- 1.5.1 Where a zone boundary is shown as following a highway or road right-of-way or watercourse, the centre line of the right-of-way or watercourse shall be the zone boundary;
- 1.5.2 Where the zone boundary does not follow a legally defined line, and where the distances are not specifically indicated, the location of the zone boundary shall be determined by referencing topographic and scaling information from the zoning maps;
- 1.5.3 When any public roadway is closed, the roadway lands have the same zoning as the abutting land. Where different zones govern abutting lands, the centre of the roadway is the zone boundary.

## I.6 ABBREVIATIONS

- 1.6.1 The following table is a list of abbreviations used in the document.

Abbreviation	Term
ADU	Accessory Dwelling Unit



ALC	Agricultural Land Commission
ALR	Agricultural Land Reserve
LGA	Local Government Act
OCP	Official Community Plan
STEP	Septic Tank Effluent Pumping system
STR	Short Term Rental

## **1.7 UNITS OF MEASUREMENT**

1.7.1 For parcels less than one hectare in area, square metres (m<sup>2</sup>) is used to denote parcel area, while hectares is used for parcels equal to or greater than one hectare.

## **1.8 EFFECTIVE DATE**

1.8.1 This Bylaw shall come into force and take effect upon adoption.

1.8.2 An application for rezoning (zoning amendment), which is received in its complete form prior to the effective date of this Bylaw, shall be decided upon in accordance with the regulations currently in effect.

## **1.9 PURPOSE OF THE BYLAW**

1.9.1 This bylaw provides the regulatory framework for orderly, economic, and environmentally responsible development within Electoral Area C of the Regional District of Kitimat-Stikine by:

- (a) Implementing the goals and objectives of the Official Community Plan;
- (b) Establishing land use zones and associated regulations to control the use, location, type, and intensity of development permitted to occur on a parcel of land within Electoral Area C;
- (c) Setting out the rules, information requirements, and procedures for consistent review, decision-making, and issuance of a permit, applicable to all development, bylaw amendments, and/or appeals; and
- (d) Timely decision-making on an application to undertake a development, rezone a parcel, or file a development appeal.

## **1.10 ENABLING LEGISLATION**

1.10.1 This Bylaw has been adopted in conformance with the *Local Government Act*.

## **1.11 COMPLIANCE WITH OTHER LEGISLATION**

1.11.1 In addition to complying with this Bylaw, a person applying for any RDKS permit is responsible for ascertaining and complying with the requirements of any other applicable regional district, provincial, or

federal legislation, without limiting the generality of the foregoing, health, fire and building standards.

1.11.2 The issuance of a permit or approval of amendment does not relieve the property owner from complying with any easement, covenant, lease, building scheme or other, or development agreement that affects the development.

## **1.12 SEVERABILITY**

1.12.1 If any section, subsection, sentence, clause, or phrase of this Bylaw is for any reason held to be invalid by the decision of any court of competent jurisdiction, the invalid portion shall be severed from this Bylaw and such decision shall not affect the validity of the remaining portions of this Bylaw.

## **1.13 AMENDMENT**

1.13.1 Any person may apply for an amendment to the text or map of this Bylaw by submitting the required application to The Board of Directors in writing and submitting a written statement that describes and justifies the proposed amendment.

1.13.2 A property owner, or their authorized agent, may apply to make a zoning amendment to their property by providing:

- (a) Documentation of ownership or authority to act on behalf of the owner; a written statement of justification including a location map showing the proposed change in the context of adjacent land;
- (b) Other information as the Development Authority deems necessary to prepare an evaluation of the request for a recommendation to the Board of Directors.

1.13.3 The Board of Directors may initiate any text or map amendments to this Bylaw.

1.13.4 The Board of Directors shall give notice, as per the regulations outlined in the Development Procedures Bylaw, of intention to pass a zoning bylaw amendment, initiated by any person, property owner, or The Board of Directors, by complying with those requirements and notification procedures as outlined in the *Local Government Act*.

1.13.5 Any person making an application for a zoning amendment, at the time of such application, shall pay a non-refundable application fee as set by the Board of Directors, as per the Development Procedures Bylaw.

1.13.6 Upon receipt of a completed application for a text amendment or map amendment, a Development Officer shall initiate or undertake an investigation and analysis of the potential impacts of development within the proposed zone.

1.13.7 The analysis shall be based on the full development potential of the uses and development regulations specified in the proposed zone and not on the merits of any particular development proposal.

1.13.8 The analysis shall, among other factors, consider the following criteria:

- (a) Relationship to, and compliance with, the OCP and other approved plans and the Board of Directors policies;
- (b) Relationship to, and compliance with, Regional District plans in preparation;
- (c) Compatibility with surrounding development in terms of land use function and intensity of development;



- (d) Traffic impacts;
- (e) Relationship to, or impacts on, services (such as water and sewage systems), utilities, and public facilities (such as recreational facilities and schools);
- (f) Relationship to Regional District land, rights of way, or easement requirements;
- (g) Effect on the stability, retention, and rehabilitation of desirable existing uses, buildings, or both in the area;
- (h) Necessity and appropriateness of the proposed text amendment or zoning amendment according to the stated intentions of the applicant;
- (i) Analysis of any documented concerns and opinions of area residents and land owners regarding the application;
- (j) Any other factors deemed important by the Regional District.

1.13.9 Subsequently, the Development Officer shall:

- (a) Prepare a report on the proposed amendment; and
- (b) Submit a copy of the application and the Development Officer's recommendation and report to the Board of Directors.

#### **1.14 FEES, FORMS, AND RECORDS**

1.14.1 The Board of Directors shall periodically review and update by resolution a standard fee schedule within the Development Procedures Bylaw for the application and administration of this Bylaw.

1.14.2 The Development Procedures Bylaw, or another bylaw deemed appropriate by the Board of Directors, shall contain reference to, and guidelines for, a standard set of forms to be used for the administration of this Bylaw with such forms available in hard copy and/or electronic form.

#### **1.15 RE-APPLICATION**

1.15.1 When an application for an amendment to this Bylaw has been refused by the Board of Directors, another application for the same, or substantially the same, amendment shall not be submitted within a time period from the date of refusal as specified in the Development Procedures Bylaw.

#### **1.16 CONFORMITY**

1.16.1 No land, building, or structure shall be used, and no development in the entire geographical area of Electoral Area C in the Regional District of Kitimat-Stikine is permitted for any purpose, except in conformity with this Bylaw.

#### **1.17 GENERAL ENFORCEMENT**

1.17.1 This Bylaw may be administered by a person or persons appointed as Development Officer by the Board of the Regional District of Kitimat-Stikine.

1.17.2 The appointed officer shall not be obligated to enforce any or all of the provisions of this Bylaw.

1.17.3 The Development Officer may enforce the provision of this Bylaw in accordance with the *Local Government Act* and other Regional District bylaws.

1.17.4 Any person who violates any of the provisions of this Bylaw shall be subject to the penalties, title charges or leans, and sanctions provided in the *Community Charter, Local Government Act*, and Kitimat-Stikine Ticketing Information Authorization Bylaw.

### **1.18 PROHIBITION**

1.18.1 No person shall contravene, cause, suffer, or permit a contravention of this Bylaw.

1.18.2 No person shall commence or undertake a use that is not permitted by this Bylaw.

1.18.3 No person shall construct, make an addition to, or alter a structure, which is not permitted by this Bylaw.

1.18.4 No person shall modify any description, specifications, or plans that were the basis for the issuance of any permit or approval.

1.18.5 No person shall authorize or do any construction that is at variance with the description, specifications, or plans that were the basis for the issuance of a permit or approval if such variance contravenes this Bylaw.

### **1.19 RIGHT OF ENTRY**

1.19.1 After providing notice to the owner or occupant, as outlined in the Kitimat-Stikine Development Approvals and Notifications Procedures Bylaw, the Development Officer, or their designate, may enter onto any land or into any building or structure at any reasonable time in order to conduct an inspection to ascertain compliance with this Bylaw.

1.19.2 No person shall interfere with or obstruct the entry of the Development Officer, or other appointed employee or their designate, onto any land or into any building or structure to which entry is made or attempted pursuant to the provisions of this Bylaw.

### **1.20 OFFENCE**

1.20.1 Any person who contravenes, causes, or permits a contravention of this Bylaw, commits an offence.

### **1.21 NOTICE OF OFFENCE ORDER**

1.21.1 If the Development Officer finds that a person is committing an offence under this Bylaw, the Regional District may require the person responsible for the violation to remedy it through a notice of offence order.

1.21.2 The Regional District may issue a notice of offence order to:

- (a) The owner of the property;
- (b) The person in possession of the land or buildings;
- (c) The person responsible for the offence.

1.21.3 The notice of offence order must be delivered in person, by registered mail, or by posting the notice in a conspicuous location on the site.

1.21.4 A notice of offence order shall:

- (a) Describe the nature of the violation;
- (b) Describe the actions or measures required to remedy the violation, including the removal or demolition of a structure that has been erected or placed;
- (c) State a time within which the person must comply with the directions or the order; and



- (d) State that if the person does not comply with the directions within a specified time an offence ticket will be issued and/or the Regional District will take action or measure at the expense of the person.

1.21.5 Where a person fails or refuses to comply with the notice of offence order, the Regional District may take such action as is necessary to enforce the order.

1.21.6 The costs and expenses incurred by the Regional District in carrying out a notice of offence order shall be placed on the tax roll as an additional tax against the property concerned, and that amount shall be collected in the same manner as taxes on the land.

## **1.22 OFFENCE TICKETS**

1.22.1 Where a person has contravened a provision of this Bylaw, or if the corrective measures described in a notice of offence issued pursuant to Subsection 1.20 are not completed within the specified time, or if development continues after a permit has been revoked, the person to whom the notice of offence was issued may be issued an offence ticket by the Regional District in the amount specified in Subsection 1.22.

1.22.2 The offence ticket shall specify the alleged offence committed, the person to whom the offence ticket is issued, and require payment of the penalty by a specified date.

1.22.3 The offence ticket shall be served personally or by registered mail on the person identified in Subsection 1.20.2.

## **1.23 PENALTIES**

1.23.1 Every person who violates a provision of this Bylaw commits an offence and is liable on summary conviction to a penalty not exceeding \$10,000 and the costs of prosecution.

1.23.2 Each day a violation of the provisions of this Bylaw exists or is permitted to exist shall constitute a separate offence.

1.23.3 Any person who contravenes the same provision of this Bylaw within twelve months after the date of the first contravention is liable to the specified penalties for such second or subsequent offence in the amount of twice the first offence amount.

1.23.4 Should any person owning or occupying real property within the Regional District refuse or neglect to pay any penalties that have been levied pursuant to this Bylaw, the Regional District may inform such person in default that, if these charges are unpaid on the thirty-first day of December on the same year, these shall be added to and form part of the taxes payable in respect of that real property as taxes in arrears.

## PART 2 - INTERPRETATION / DEFINITIONS

### 2.1 RULES OF INTERPRETATION

For the purpose of this Bylaw, certain terms or words herein shall be interpreted or defined as follows:

Words used in the present tense shall include the future tense. The singular includes the plural, the word 'person' includes a corporation as well as an individual. The term 'shall' is always mandatory. The word 'used' or 'occupied' as applied to any land or building shall be construed to include the words 'intended, arranged, or designed to be used or occupied'.

Typical uses listed as examples in the definitions are not intended to be exclusive or restrictive. Intent, impact, and definition of the use, among others, will be considered when determining whether or not a use is permitted.

When a specific use does not conform to the wording of any use definition, or generally conforms to the wording of two or more definitions, the Development Officer may use discretion to deem that the use conforms to, and is included in, that use which is considered to be most appropriate in character and purpose.

### 2.2 GENERAL DEFINITIONS

This section outlines general regulations that apply to development within Electoral Area C of the Regional District of Kitimat-Stikine.

**ABUT** means to have a common boundary.

**ACCESSORY** means a use, building, or structure which is ancillary or subordinate to that of the principal use and exclusively located on the same lot or site.

**ADJACENT** means contiguous or would be contiguous if not for an easement, right-of-way, road, and/or natural features.

**ANIMAL** means an animal species, including bird, cat, cattle, dog, horse, poultry, reptile, rodent, sheep, swine, insects, or fur bearing animal.

**BOARD or BOARD OF DIRECTORS** means the Board of Directors of the Regional District of Kitimat-Stikine.

**BOARD OF VARIANCE** means the Regional District of Kitimat-Stikine Board of Variance, established in accordance with the *Local Government Act*.

**BUILDING** means any structure having a roof supported by columns or walls and intended for the shelter, housing or enclosure of persons, animals or chattels.

**BUILDING HEIGHT** means the maximum vertical distance as measured from the average ground level elevation from the base of the exterior wall to the highest point of the building. The calculation of building height excludes a roof stairway entrance, an elevator housing, heating or ventilation equipment, flush-mounted solar collectors, a skylight, a steeple, a chimney, a smokestack, a flagpole, a firewall, guardrail, or similar feature or device not structurally essential to the building, see **Figure 1**.



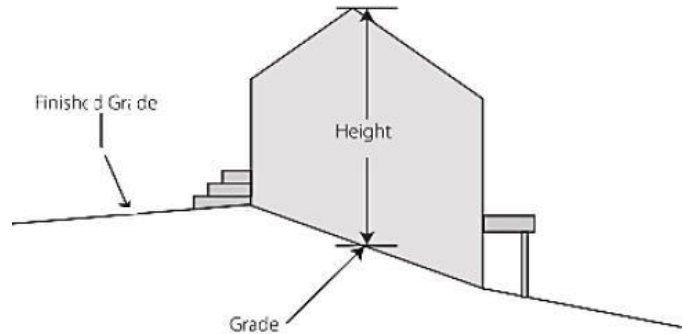


Figure 1 – Building Height Calculation

**CANNABIS** means a cannabis plant as defined in the *Cannabis Act* (Government of Canada) and includes any products that contain cannabis.

**COMMERCIAL** means for trade or financial gain.

**COMMUNITY WATER** means the public water system that supplies water to the community.

**COMMUNITY SEWER** means the public sanitary sewer system used to move effluent.

**CONDOMINIUM** means a condominium plan registered in a Land Titles office that complies with the requirement of the *Condominium Act*.

**CORNER LOT** means a lot at the intersection of two or more roads and/or highways.

**COVENANT** means a legally binding agreement, which can be a promise to do or refrain from doing something, and can be used to create obligations for multiple parties, that is registered at Land Titles as a charge on a property.

**DECK** means a structure more than 0.6 m above grade without a roof or walls, except for visual partitions and railings, used as an outdoor amenity area.

**DENSITY** means the number of Dwelling Units on a site expressed in units per hectare (uph). Accessory dwelling units and secondary suites are excluded from density calculations.

**DEVELOPMENT** means the carrying on of any construction or any other operation in, on, over or under any land or the making of any change in the use of the land, building, structure, or premises.

**DEVELOPMENT AUTHORITY** means a Development Officer, Board of Variance, or the Board of Directors as the context requires.

**DEVELOPMENT OFFICER** means the person appointed by the Board of Directors to administer and enforce this Bylaw.

**DEVELOPMENT PERMIT** means a certificate to allow development and includes the documents on the basis of which the Development Permit was issued, as outlined in the Official Community Plan. Development Permit may include a Building Declaration and Siting Approval Permit or a Building Permit.

**ENCLOSURE** means an area screened from view by the surrounding streets and buildings. Enclosed spaces are either within a structure or behind a screen of landscaping, perforated masonry, metal, or other materials.

**EXISTING** means at the time of the passage of this Bylaw.

**EXTERIOR WALL** means the outside of the wall system or exterior cladding of a structure.

**FENCE** means an artificially constructed barrier erected to enclose or screen a property or use.

**FIRE SEPARATION** means a passive fire protection system that uses walls, floors, and ceilings to divide a building into compartments that slow the spread of fire.

**GRADE** means the ground elevation established for the purpose of regulating the number of storeys and the height of a building. If the ground is not entirely level, the grade is to be determined by averaging the elevation of the ground for the four building elevations. See **Figure 2**.

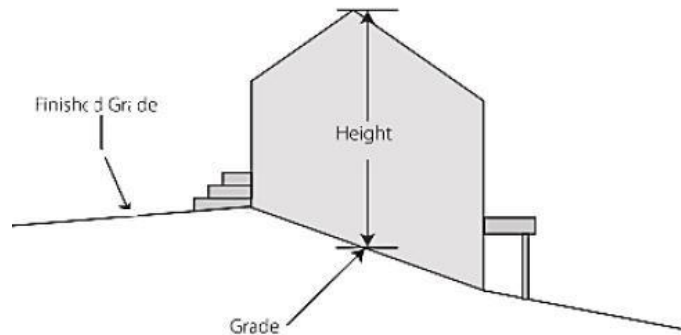


Figure 2 - Illustration of Grade and Height Calculation

**GARAGE OR CARPORT** means an accessory building or structure or a part of the principal building designed and used primarily for the storage of motor vehicles for the occupants of the premises.

**GROSS FLOOR AREA (GFA)** means the total floor area of a building within the exterior walls. This does not include basement areas, parking areas below grade, and areas devoted exclusively to mechanical or electrical equipment servicing the development.

**HIGHWAY** includes a street, road, lane, bridge, viaduct and any other way open to the use of motor vehicles but does not include a private right-of-way on private property.

**LANDSCAPING** means to change or modify the natural features of a site by adding lawns, trees, shrubs, ornamental plantings, walks, drives, play equipment, benches, patios, or other similar structures and materials.

**LIVESTOCK** means animals regarded as an asset or intended to be sold for the purpose of financial gain.

**LOADING SPACE** means an on-site parking space directly accessible from a street reserved for temporary parking for the purpose of loading and unloading goods and materials.

**LOCAL GOVERNMENT ACT** means the *Local Government Act* and amendments thereto.

**LOT** means the smallest unit as shown on the records of the Land Titles Office or which are described in a certificate of title of land in which land is held or which land is subdivided. The words 'site' and 'parcel' shall have the same meaning as the word 'lot'.

**LOT LINE** means a line which marks the legal boundary of a lot (see **Figure 3**) and, in particular:

- a. **Front Lot Line** means the lot line that divided the lot from the highway (street), provided that in the case of a corner lot the shorter lot line that abuts the highway (street) shall be deemed to be the front lot line. In the case of a through lot, the lot lines abutting two parallel or approximately parallel highways (streets) shall be considered as front lot lines.

- b. **Side Lot Line** means a lot line other than a front or rear lot line.
- c. **Rear Lot Line** means the lot line opposite to and most distant from the front lot line or, where the rear portion of the lot is bounded by intersecting side lot lines, it shall be the point of such intersection.

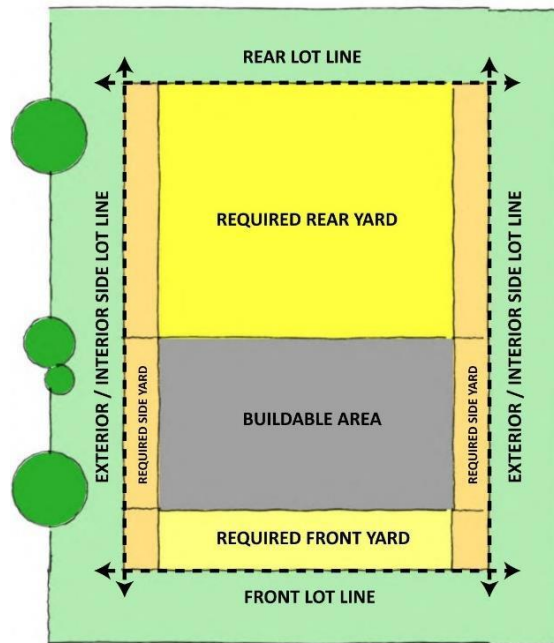


Figure 3 - Illustration of Lot Lines

**LOT WIDTH** means the width of a lot where it abuts a highway except in the case of an irregular shaped lot where the lot width shall be the width of the lot along the front yard setback, see **Figure 4**.

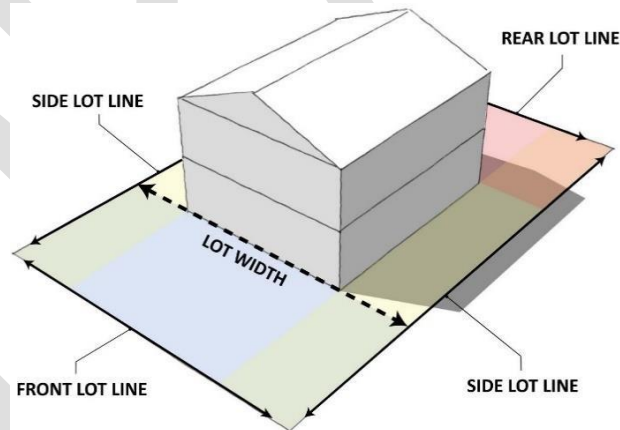


Figure 4 - Illustration of Lot Width

**MAINTENANCE** means the upkeep of a building or property that does not involve structural change, the change of use, or the change of intensity of use.

**NON-CONFORMING BUILDING OR USE** means any lawful building or use existing at the time of the adoption of this Bylaw which does not or will not conform to all the provisions of this Bylaw.

**OFFENSIVE OR OBJECTIONABLE** when used with reference to any use of any land, building or structure, means

a use which, from its nature or from the manner of carrying on same, creates or is liable to create, by reason of noise, vibration, smoke, dust or other particulate matter, odour, toxic or noxious matter, radiation hazards, fire or explosive hazards, heat, humidity or glare, or unsightly storage of goods, wares, merchandise, salvage, junk, waste or other materials, a condition which, in the opinion of the Board of Directors or Board of Variance (as the case may be), may be or become hazardous or injurious as regards health or safety or which adversely affects the amenities of the neighbourhood or interferes with or may interfere with normal enjoyment of any land, building or structure.

**OFFICIAL COMMUNITY PLAN (OCP)** means the Official Community Plan for Electoral Area C adopted by Bylaw by the Regional District of Kitimat-Stikine, and amendments thereto.

**ONSITE WASTEWATER** means the on-site retention of wastewater on a property.

**OWNER** means the person who has the beneficial ownership of land and includes a lessee or purchaser by way of Agreement of Sale.

**PAD or PLOT** means an area of a manufactured or mobile home park property designated for the placement of a manufactured or mobile home.

**PARKING SPACE, OFF-STREET** means an off-street area available for the parking of one motor vehicle, exclusive of driveway, ramps, columns and office or work areas.

**PERMITTED USE** means the use of land, buildings, or structures for which an approval shall be obtained with or without conditions where the use applied for conforms with this Bylaw.

**PRINCIPAL BUILDING** means a building which contains the chief or main use on a lot and constitutes, by reason of its uses, the primary purposes for which the lot is used.

**PRINCIPAL USE** means the chief or main use of the land, buildings, and structures on a lot.

**RECREATIONAL VEHICLE (RV)** means a portable structure intended as a temporary accommodation for travel, vacation or recreational use and includes: travel trailers, motorized home, slide-in camper, chassis-mounted campers, and tent trailers but not including mobile homes.

**RESIDENTIAL** means the use of a building or part thereof as a dwelling unit.

**SCREENING** means a fence, earth berm, row of trees, hedge, or established shelterbelt used to visually and/or physically separate areas or functions.

**SEPTIC FIELD** means an area used to receive effluent discharged from a treatment method.

**SEPTIC TANK** means a watertight container for receiving, treating, and settling domestic sewage.

**SEPTIC TANK EFFLUENT PUMPING SYSTEM (STEP)** means a low-pressure sewer system that connects homes utilizing septic tanks to the public sewer system.

**SETBACK** means the distance the development must be set back from a front, side, and/or rear lot lines to the Exterior Wall of the structure.

**SIGHT TRIANGLE** means the triangle formed by two intersecting highway right-of-way boundaries and two points on those boundaries 6.1 metres from the point of intersection, see **Figure 5**.



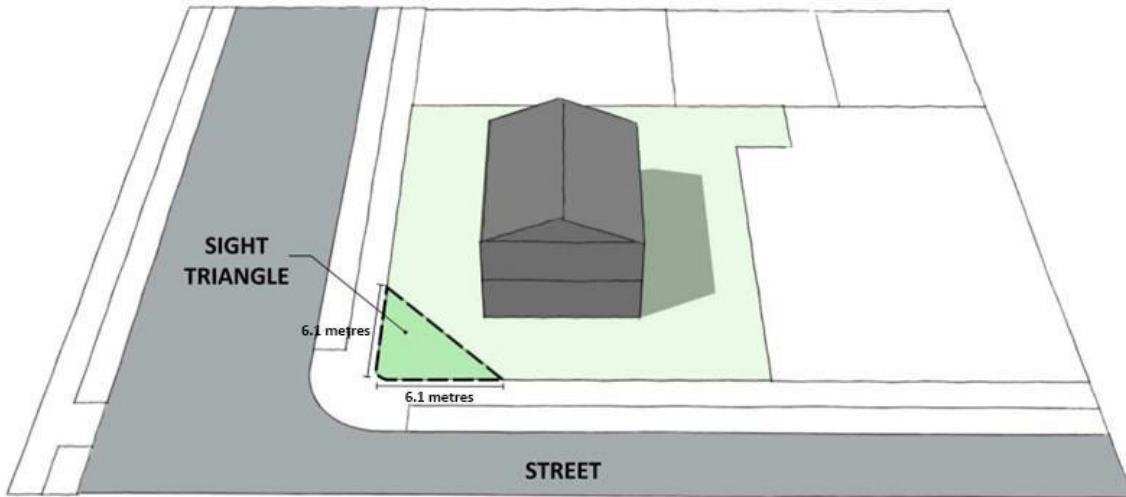


Figure 5 - Illustration of Sight Triangle

**SINGLE REAL ESTATE ENTITY** means a collection of dwellings, buildings or structures that cannot be legally separated.

**SITE PLAN** means a drawing or illustration which includes the location and size of principal and accessory buildings, parcel line dimensions, setbacks, parcel area, and location and size of other important elements, including but not limited to septic tank and septic field, water well, driveway, pool, and decks.

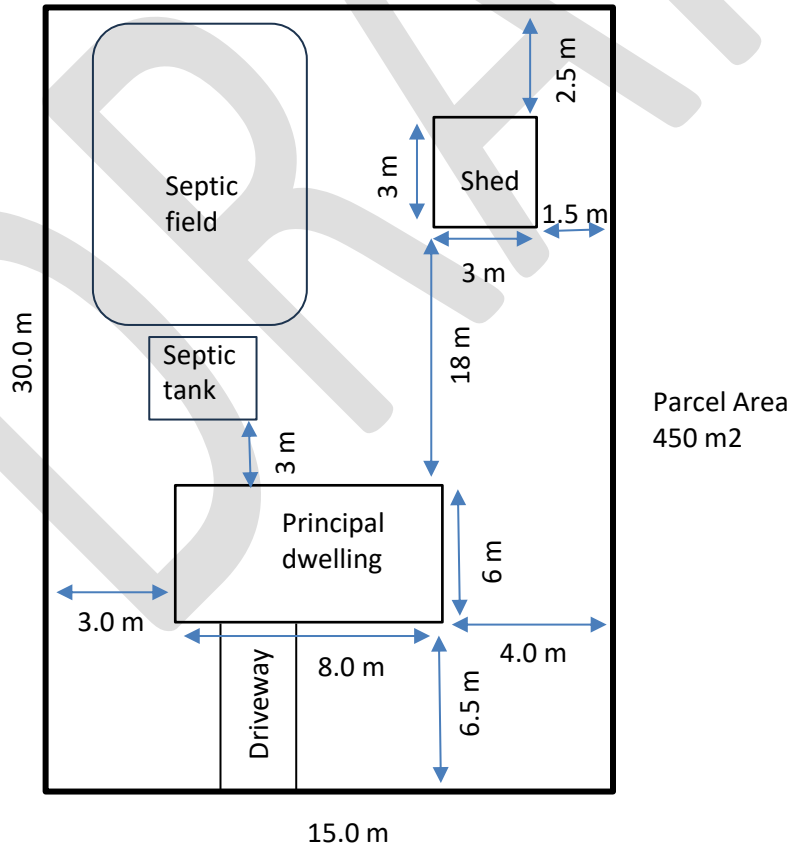


Figure 6 – Example Site Plan

**STRUCTURE** means a construction of any kind whether fixed to or supported by or sunk into land, including stadiums, sheds, fences, platforms, signs, tanks, poles, towers, pools, etc.

**SWIMMING POOL** means a temporary or permanent installation designed to hold water to enable swimming and related activities. It may be installed in-ground or above ground.

**USE** means the purpose or function to which land, buildings, or structures are designed or intended.

**VARIANCE** means a variation, relaxation, or waiver of a development regulation and/or other requirements of this Bylaw.

**WATERCOURSE** means any natural or man-made depression with well-defined banks and a bed 0.6 meters or more below the surrounding land serving to give direction to a current of water at least six months of the year or having a drainage area of two square kilometres or more.

**YARD** means a portion of a lot upon or over which no Principal Building shall be erected, unless otherwise permitted in this Bylaw.

**YARD, FRONT** means that portion of the lot extending across the full width from the front lot line to the nearest Exterior Wall of the Principal Building and shall be measured at right angles to the front property boundary, see **Figure 6**.

**YARD, REAR** means that portion of the lot extending across the full width from the rear lot line to the nearest Exterior Wall of the Principal Building and shall be measured at right angles to the rear property boundary, see **Figure 6**.

**YARD, SIDE** means that portion of the lot situated between the front yard and the rear yard, which extends from the side property boundary to the nearest Exterior Wall of the Principal Building and shall be measured at right angles to the side property boundary, see **Figure 6**.

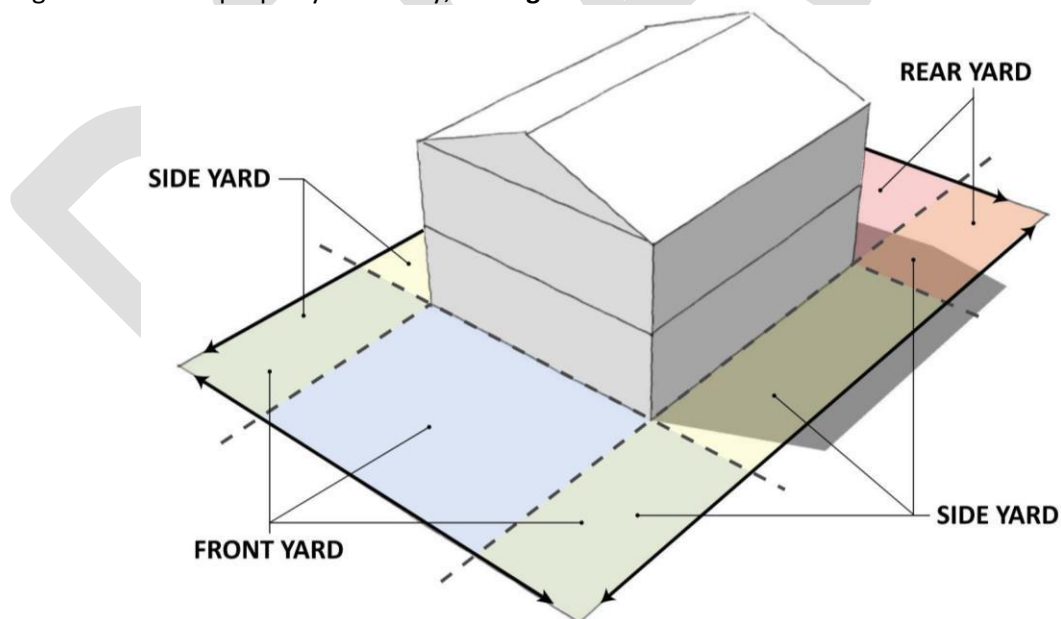


Figure 7 - Illustration of Yards

**ZONE** means a defined area of the Regional District as set out in this Bylaw and as shown on the Zoning Map.

**ZONING AMENDMENT** means a text or map amendment to this Bylaw.

**ZONING MAP** means the map delineating the boundaries of the zones as set out in this Bylaw within Electoral Area C of the Regional District of Kitimat-Stikine and attached as **Schedule B**.

### 2.3 USES DEFINITIONS

This section outlines specific definitions that apply to particular types of regulations within Electoral Area C of the Regional District of Kitimat-Stikine.

**ACCESSORY BUILDING/ STRUCTURE** means a building or structure which is subordinate to that of the principal use on the lot.

**ACCESSORY DWELLING UNIT** means a type of self-contained dwelling with its own kitchen, sleeping area, and washroom facilities located within an accessory building, as a separate structure apart from the primary residence. This includes such dwellings as a garden suite, carriage home, or laneway house. An accessory dwelling unit can be up to 100% of the floor area of the accessory building, up to a maximum of 90.0 m<sup>2</sup>, see **Figure 7**.

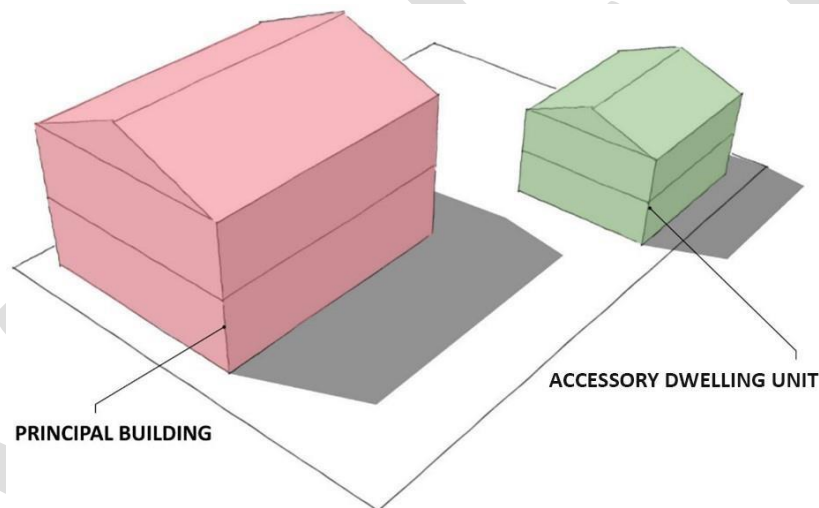


Figure 8 - Illustration of an Accessory Dwelling Unit

**AGRICULTURE, INTENSIVE** means the growing of crops and/or raising of livestock for the purposes of large-scale agriculture and includes but is not limited to grazing, livestock operation, beekeeping, fish farming, horticulture, and nursery. See FARM.

See Section 4.8 for the number of animal units per hectare.

**AGRICULTURE PROCESSING** means a use for storage and upgrading of agricultural products for distribution or sale through value added processes such as mixing, drying, canning, fermenting; applying temperature, chemical, biological or other treatments to plant matter, the cutting, smoking, aging, wrapping and freezing of meat, or similar production methods. This use does not include Agriculture (Intensive or Regulated), Cannabis Cultivation or Cannabis Processing.

**AGRICULTURAL SUPPLY AND SALES** means the use of land and premises for retail sale of lawn and garden equipment, furnishing, nursery materials and supplies.

**ALCOHOL PRODUCTION** means a facility where beer, spirits and other alcoholic beverages are manufactured,

which may have a private hospitality area where products made on the premises are provided to private groups for tasting and consumption as part of a facility tour or special event.

**ANIMAL SHELTER OR SANCTUARY** means the use of land or premises for the temporary care or sanctuary of lost, abandoned, injured, or neglected animals.

**APARTMENT BUILDING** means a residential building consisting of three or more dwelling units, each of which has its principal access from an entrance common to the building.

**ART GALLERY** means the use of land and premises for the display and retail sale of artworks.

**ARTISAN SHOP** means the use of land and premises for the creation and retail sale of crafts and artworks.

**ASSEMBLY** means a use providing for the assembly of persons for religious, charitable, philanthropic, cultural, rehabilitative, private recreational or private educational purposes. Typically, assembly would occur at auditoriums, convention centres, youth centres, social halls, indoor or outdoor gathering spaces, and group camps.

**AUCTION FACILITY** means a facility where the sale of goods by auction is carried out, but does not include a facility for the sale of livestock by auction.

**BAND STAND** means a structure designed to accommodate live entertainment such as bands performing musical concerts, dance performances, or other live events.

**BAKERY** means a facility where baked goods are produced for wholesale to retail outlets and may include a retail store where such products are sold to the public.

**BOARDING HOME** means temporary or long-term basis accommodation for individuals, including homestays for athletes, foreign exchange students or temporary workers.

**BOARDING OR BREEDING FACILITY** means land and premises used for the business of breeding, buying, selling, or boarding of animals, including but not limited to horse stables and excluding kennels.

**BROADCASTING AND RECORDING** means the production and/or broadcasting of audio or visual programming typically associated with music recording, radio, television, and motion picture studios.

**BUILDING SUPPLY STORE** means premises where building materials, hardware, and related goods are offered or kept for retail sale, and includes storage on or about the store premises of such goods sufficient only to service such store.

**BULK FUEL STORAGE** means the premises used for the storage, sales, and distribution of bulk fuel and petroleum products mainly for commercial and/or industrial purposes.

**BUSINESS SUPPORT SERVICES** means premises for the provision of services to businesses, including but not limited to custodial services, equipment leasing and repair, graphic design, office maintenance, photography, printing services, or laboratory testing.

**CAMPGROUND OR RV PARK** means a site occupied and maintained, or intended to be occupied and maintained, for the temporary accommodation of tourists, or temporary and/or seasonal workers, in trailers, recreational vehicles, or tents, which is operated for the purposes of financial gain, but does not include motel, hotel, hostel, or Mobile Home Park.

**CANNABIS CULTIVATION** means the growing and harvesting of cannabis as licensed by Health Canada, but does



not include Cannabis Retail Store.

**CANNABIS PROCESSING** means a development, as licensed by Health Canada, where cannabis is grown, harvested, processed, tested, destroyed and/or stored on site, but does not include Cannabis Retail Store.

**CANNABIS RETAIL STORE** means the authorized sale of cannabis and accessory products by a business licensed by the *Liquor and Cannabis Licensing Branch* of British Columbia.

**CAR WASH** means a building or part of a building used for the washing of motor vehicles.

**CARE FACILITY, CLINIC** means a use where the principal use is to provide medical and health care services on an outpatient basis only. Typical uses include medical and dental offices, health care clinics, pre-natal clinics, and counseling services.

**CARE FACILITY, GROUP** means a use where individuals who are either disabled or in need of supervision reside on a temporary or long-term basis, in accordance with their individual needs. Typical uses include foster or boarding homes for children, group homes, family homes, and long-term care facilities.

**CARE FACILITY, MEDICAL** means a development providing room, board, and surgical or other medical treatment for the sick, injured, or infirm including out-patient services and accessory staff residences. Typical facilities would include hospitals, sanitariums, convalescent homes, psychiatric hospitals, auxiliary hospitals, and detoxification centres.

**CARE FACILITY, SENIORS** means a use where accommodation with moderate care provisions for residents in a congregate setting. Residents do not require continuous access to professional services or on-site professional services. Room and board services, light housekeeping services, availability of assistance and oversight of personal care, and social and recreation support may be provided.

**CARETAKER RESIDENCE** means a dwelling unit that is accessory to the principal use which provides accommodation to an occupant(s) who provides maintenance, property management, or security for the property or development.

**CEMETERIES AND FUNERAL SERVICES** means development for the burial of the deceased and may include such facilities as crematories, cineraria, columbaria, mausoleum, memorial parks, burial grounds, cemeteries, and gardens of remembrance.

**CHILD CARE CENTRE** means a facility for the provision of a child care centre program pursuant to the *Community Care and Assisted Living Act* and current amendments thereto.

**CIVIC USE** means a use providing for public functions under the auspices of government body, including but not limited to public buildings, government offices, public schools and colleges, education facilities, farmer's market, public hospitals, ambulance depots, public works yard, dog pounds, community centres, public recreation and sports facilities, libraries and archives, museums, police stations, fire stations, correctional institutions, and courts of law.

**COMMERCIAL RECREATION, INDOOR** means a recreation facility that is privately operated for the purposes of financial gain, that operates indoors, including but not limited to bowling alleys, dance halls, pool halls, or yoga studios.

**COMMERCIAL RECREATION, OUTDOOR** means a recreation facility that is privately operated for the purposes of financial gain, that operates outdoors, including but not limited to miniature golf, driving range, golf course, disc golf, go carts, or riding stables.



**COMMERCIAL VEHICLE SALES, RENTAL AND SERVICE** means the premises for the sale, rental, lease, service, or restoration of commercial and/or industrial vehicles, and the retail sales of parts and petroleum products for these types of vehicles.

**COMMUNITY USE** means a use providing for public functions under the auspices of a community organization, non-profit or charitable body, including but not limited to offices, private schools and colleges, community halls, farmer's markets, community kitchens, recreation and sports facilities, libraries and archives, arts and cultural facilities, museums, and youth or senior's centres.

**CONCRETE AND ASPHALT PLANT** means a facility used for the manufacturing of concrete or asphalt and the incidental onsite storage of required materials and equipment.

**CRAFT BREWERY/DISTILLERY** means premises where beer, spirits, or other alcoholic beverages are produced that may have a hospitality area where products made on the premises are sold to the public for consumption on the premises, and that may include the retail sale of products. Typical uses include breweries, cideries, distilleries, wineries, and meaderies. Live entertainment, games, and outdoor patio space are allowed on site, subject to BCLC permitting.

**CULTURAL SITE** means lands or structures that hold cultural or historical significance.

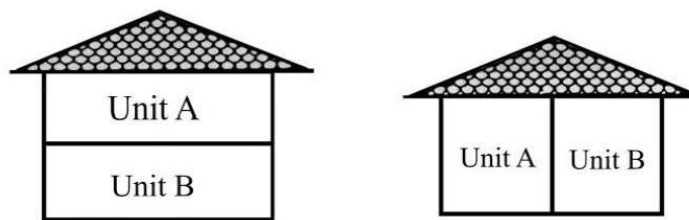
**DERELICT VEHICLES** means vehicles, including parts thereof, which are in a state of disrepair, wrecked, or being dismantled for salvage, or which are not licensed for the current year.

**KENNEL** means a place where domestic dogs are boarded or bred for commercial purposes.

**DORMITORY** means housing for students enrolled in a post-secondary educational institution.

**DRIVE-IN OR DRIVE-THRU BUSINESS** means a facility providing on-site service to customers while in their motor vehicles or the use of land and premises to park their vehicles for a short period for the purpose of doing business on-site, including but not limited to drive-thru restaurants.

**DUPLEX OR SEMI-DETACHED DWELLING** means a building that is divided into two separate dwelling units, as shown in **Figure 8**. Each dwelling unit has its own independent entrance. A duplex is contained on a single lot, and its dwelling units can be oriented horizontally or vertically. The dwelling units of a semi-detached dwelling are oriented horizontally, and the building may be located on a single lot or the building may straddle the interior property line of two lots with one unit located on each lot.



*Figure 9 - Illustration of a Duplex/ Semi-detached Dwelling*

**DWELLING OR DWELLING UNIT** means one or more rooms which constitute a self-contained unit with its own entrance, used or intended to be used as a residence by one or more persons and containing cooking, living, sleeping, and sanitary facilities.

**EDUCATION FACILITY** means any facility where education is dispensed, such as schools, colleges, and universities.

**ENTERTAINMENT FACILITY** means premises for the purposes of entertainment, including but not limited to arcades, bingo halls, casinos, concert halls, nightclubs, or theatres.

**EQUIPMENT SALES, RENTAL AND SERVICE** means the use of premises for the sales, repair, or rental of equipment, and/or machinery typically used for construction, roadway, pipeline, public works, farming, forestry, or mining. This use excludes vehicle rentals.

**EXHIBITION AND CONVENTION FACILITIES** means a development that provides spaces for meetings, seminars and conventions, product and trade fairs, and other exhibitions.

**FAIRGROUNDS** means an open space or exhibition facility that provides permanent or non-permanent facilities for activities such as entertainment, amusement facilities, agricultural exhibitions, educational displays, the barter and sale of goods, and exhibitions, often competitive, of farm, household, international, and manufactured products.

**FARM** means one or more parcels of land owned by or leased by a farmer, used for the purposes of agriculture, which may include the keeping of animals and livestock, and which may or may not be continuous. See AGRICULTURE, INTENSIVE. This use does not include Cannabis Cultivation or Cannabis Processing.

**FARM SALES** means a use where the sale of farm products which are produced by the same farming operation takes place.

**FINANCIAL SERVICES** means premises for the provision of financial services, such as a bank, loan provider, mortgage broker, insurance provider, or other similar financial services use.

**FISH PROCESSING** means cleaning, drying, salting, cooking, smoking, freezing, packaging and preparing for market fin-fish within a facility under ISO 9000 certification and permitted under Provincial and/or Federal Regulations and Acts for Fish Processing Plants but does not include fish offal reduction or processing of shellfish, crustaceans, marine plants and animals or their byproducts.

**FREIGHT TRANSPORT AND STORAGE** means a facility for trucking and logistics for the distribution of goods and includes the storage of transport trucks.

**FUNERAL HOME** means premises for the preparation of the dead for burial and holding of funeral services and may include such facilities as a crematory.

**GARDEN** means the use of land for cultivating or growing plants and may include the use of a greenhouse but excludes mushrooms. This use does not include Cannabis Cultivation or Cannabis Processing.

**GENERAL CONTRACTOR SERVICES** means premises used for the provision of building and general construction services including landscaping, concrete, electrical, excavation, drilling, heating and plumbing, or similar services of a construction nature which require on-site storage and warehouse space and includes any sales, display, office or technical support service areas.

**GOLF COURSE** means a public or private area operated for the purpose of playing golf and includes tees, greens, fairways, cart paths, driving range, open space, public trails and parks.

**GOLF COURSE CLUBHOUSE** means a facility which provides a variety of day-use services such as golf related equipment and merchandise sales and rentals, meals and meeting facilities to golfers and other recreational users



of the golf course. This facility provides a variety of special events such as but not limited to golf-related tournaments, social gatherings, music festivals, art fairs, public markets, or similar activities which may vary in scale and duration. The facilities may include a restaurant, drinking establishment, convention facilities and associated parking areas.

**GOLF COURSE MAINTENANCE AND STORAGE FACILITY** means a facility for the storage and maintenance of vehicles and equipment, and the storage and handling of goods, fuels, fertilizers and other products required for the operation and maintenance of a golf course. A maintenance and storage facility include but is not limited to yard areas, buildings and structures, and infrastructure for maintenance staff such as office space and its associated parking areas.

**GREENBELT** means an area of non-developed land that is generally left in a natural state that may be used for passive or active recreation, trails, or buffers.

**GREENHOUSE PRODUCTION** means the use of a greenhouse(s) to grow food and plants for the purpose of financial gain. This use does not include Cannabis Cultivation or Cannabis Processing.

**HAZARDOUS GOODS STORAGE** means a premise for the storage of chemicals as outlined in the *Transportation of Dangerous Goods Act*.

**HOLDING PENS** means a facility for the temporary keeping of animals in transit.

**HOME-BASED AGRICULTURE** means one or more parcels of land used for the purposes of small-scale agriculture, which may include the growing, producing and harvesting of fruit, vegetables, or flowers, as well as the keeping of animals for domestic use, including, but not limited to, bees, dogs, rabbits, chickens, fish, pigs, sheep, cows, horses, and goats, and which may or may not be continuous. This use does not include Cannabis Cultivation or Cannabis Processing.

*See Section 4.7 for the number of animal units per hectare.*

**HOME-BASED BUSINESS** means a use where business is conducted in a principal dwelling and/or its accessory building(s) by an occupant. A home-based business may be conducted outside in the case of Small-Scale Agriculture or Home-Based Agriculture uses. The home-based business is a secondary use and does not change the residential appearance of the land and buildings with limited visits and employees on-site.

**HORTICULTURE** means the growing, producing and harvesting of fruit, vegetables, trees, shrubs and flowers but does not include animals or animal products, for the purpose of financial gain. This use does not include Cannabis Cultivation or Cannabis Processing.

**HOSTEL** means an establishment that provides inexpensive accommodation for travelers, which may include shared rooms or bunk beds.

**HOTEL** means a building providing for the temporary accommodation of travelers in sleeping units joined by an interior corridor.

**INDOOR STORAGE** means the storing, stock piling or accumulating of products, goods, equipment, vehicles, or material in an enclosed building(s). This use does not include outdoor storage.

**INDUSTRIAL, RURAL** means the use of land and premises for the small scale construction, creation, assembling, or maintenance of products and equipment that do not produce significant nuisance or environmental factors such as noise, appearance, or odour that may interfere with the use of any contiguous lot, including but not limited to repair shops, ceramic studios with kilns, cabinet making, trucking and hauling, and other uses requiring large



accessory buildings or which engage large equipment.

**INDUSTRIAL, SALVAGE** means the use of land and premises for collection, demolition, dismantlement, salvage, storage, recycling or sale of waste materials and parts including scrap metal, abandoned vehicles, machinery, and other discarded materials. Typical uses are auto wreckers, junk yards, and recycling facilities.

**INDUSTRIAL WORK CAMP** means a temporary or permanent modular facility, which is often located in a remote area, that provides housing for workers in industries like mining, forestry, construction, and oil and gas.

**LABORATORY AND RESEARCH FACILITIES** means premises for the provision of large-scale laboratory services and research facilities.

**LANDSCAPING OPERATION** means a facility for growing or storing materials for landscaping services including the provision of such services and a plant nursery.

**LAUNDROMAT, INDUSTRIAL** means premises for the provision of large-scale laundry, drycleaning services, and sewing or tailoring services.

**LIQUOR STORE** means a facility that sells alcohol as regulated by the *Liquor Control and Licensing Act*, such as a liquor store or a beer and wine vendor.

**MAINTENANCE FACILITY** means a facility for the servicing and repairing of commercial vehicles and equipment, including vehicles and equipment used for public works.

**MANUFACTURED HOME** means any structure, whether ordinarily equipped with wheels or not, that is designed, constructed or manufactured to provide residential accommodation and to be moved from one place to another by being towed or carried. It includes both Mobile Homes and Modular Homes. It does not include Recreational Vehicles or Trailers.

**MANUFACTURED OR MOBILE HOME PARK** means a parcel of land under one (1) ownership which has been planned, divided into plots, and improved for the placement of two or more mobile homes or modular homes for permanent residential use. The minimum pad size for a mobile home or modular home shall be 200 square metres.

**MANUFACTURING, HEAVY** means the use of land or facilities for construction, creation, or assembling of products and equipment, or the testing, refining, sampling, or preparing raw materials that may produce significant nuisance or environmental factors as noise, appearance, odour, emission of contaminants, and fire or explosive hazards, on adjacent lots, including but not limited to chemical processes, lumber mills, tanneries and slaughterhouses (abattoirs).

**MANUFACTURING, LIGHT** means the use of land or facilities for construction, creation, assembling, bottling, millwork, or packaging of products and equipment, or the testing, refining, sampling, or preparing raw materials that do not produce significant nuisance or environmental factors such as noise, appearance, or odour that may interfere with the use of any contiguous lot.

**MOBILE HOME** means a transportable dwelling unit which has or had a self-contained chassis, meeting current CSA standards or equivalent, suitable for long-term occupancy and which, upon arriving at the lot or site for location, is apart from the incidental operations such as placement on supports and connection to utilities, ready for occupancy; it does not include modular home or prefabricated dwelling. Mobile Homes must be Z-240 certified. A mobile home must be installed on pilings or similar means, and skirted, or on a foundation.



**MODULAR HOME** means a type of single detached dwelling composed of separate pre-manufactured components which have no chassis for transportation and which, when transported to a site, are fitted together structurally, mechanically, and electrically to form a single structure. Modular Homes must be A-277 certified. They must be installed on a foundation, except in the RMH zone where pilings with skirting is also acceptable. Modular Homes may be located anywhere that permits Single Detached Dwellings, and in Manufactured or Mobile Home Parks.

**MOTEL** means a building or buildings provided for the temporary accommodation of travelers in sleeping units with exterior access.

**NATURAL RESOURCE DEVELOPMENT** means the onsite removal, exploration, extraction, storage, and primary processing of raw materials that are found on or under the site or that are accessible from the site. Typical uses include clay pits, gravel pits, placer mining, sandpits, and topsoil stripping.

**NATURAL RESOURCE DEVELOPMENT, SMALL SCALE** means the onsite removal, exploration, extraction, storage, and primary processing of raw materials that are found on or under the site or that are accessible from the site, under 4 hectares in size. Typical uses include clay pits, gravel pits, placer mining, sandpits, aggregate and wood lots.

**NEIGHBOURHOOD PUB** means premises for the sale of liquor and serving of food, including but not limited to a bar, pub, sports bar, tavern, or wine bar, and may include live entertainment space, billiard tables and other games, and a dance floor, but does not include Craft Brewery/Distillery.

**NURSERY** means a building or structure where plants are propagated and grown to a desired size. This use does not include Cannabis Cultivation or Cannabis Processing.

**OFFICE** means a facility for the provision of professional, management, administrative, or consulting services, such as offices for architectural, clerical, insurance, employment, engineering, planning, real estate, surveying, travel, and other professional services, but does not include *Care Facility, Clinic, Financial Services, or General Contractor Services*.

**OPEN SPACE** means an area of land consisting largely of open space which may include a recreational area, playground, play field, community garden, or similar use, and may also include a recreational facility such as a clubhouse. Typically, open space is owned and maintained by the property owner.

**OUTDOOR AMPHITHEATRE** means open-air venue used for entertainment, performances, and recreation purposes.

**OUTDOOR STORAGE** means the storing, stock piling or accumulating of products, goods, equipment, vehicles, or material in an area that is open or exposed to the natural elements; this does not include the outdoor storage of commercial trucks and truck trailers.

**OUTDOOR STORAGE, RECREATION** means the use of land or buildings for the indoor or outdoor storage of recreational vehicles, including but not limited to RVs, boats, snowmobiles, ATVs, or travel trailers.

**OUTDOOR STORAGE, TRUCK** means an industrial area of land set aside for the outdoor storage of commercial trucks, heavy equipment, and truck trailers.

**PARK** means an area of land consisting largely of open space which may include a recreational area, playground, public washrooms, concession stands, recreation facilities, play fields, community garden, or similar uses. Typically, parks are owned and maintained by the Regional District or another public authority.



**PARKING AREA OR LOT** means an open area of land other than a street, or a building designed and used for the parking of a number of vehicles.

**PERSONAL SERVICE ESTABLISHMENT** means uses which provide personal services to an individual which are related to the care and appearance of the body or the cleaning and repair of personal effects, including but not limited to hair salon, massage clinic, nail salon, appliance repair, drycleaning, jewelry repair, laundromat, photographer, shoe repair, tailor, or upholstery.

**PICNIC SITE, COVERED** means lands, which may be covered by a roof structure, used for gatherings and ceremonies.

**PLACES OF WORSHIP** means a development owned by a religious organization used for worship and related religious, philanthropic or social activities including accessory rectories, classrooms, and auditoriums. Typical uses include churches, chapels, mosques, temples, synagogues, parish halls, convents, and monasteries.

**PLAYGROUND** means a non-commercial outside recreational facility for non-organized recreational use.

**PRIVATE CLUBS AND LODGES** means a facility used for the meeting, social or recreation activities of members of non-profit, charitable, social services, athletic, business, or fraternal organization, with/without on-site residences. Private clubs and lodges may include rooms for eating, drinking and assembly.

**PUBLIC BUILDING** means a building owned or occupied by a Regional District, First Nations, Provincial or Federal governmental agency, which may or may not be accessible to the general public.

**RECYCLING DEPOT** means a facility that buys, sorts, and/or stores bottles, cans, newspapers, and similar household goods for reuse. All storage is contained within an enclosed building or screened area.

**RESTAURANT** means a development where prepared foods and beverages are offered for sale to the public, or consumption within the premises or off the site. This includes licensed restaurants, cafes, delicatessens, tea rooms, lunchrooms, refreshment stands, concession stands, take-out restaurants, and food vendors. This does not include drive-in or drive-thru businesses, mobile catering food services, or neighbourhood pubs.

**RETAIL, LARGE FORMAT** means a building exceeding 2,500 m<sup>2</sup> in gross floor area where goods, wares or merchandise are offered or kept for retail sale, and includes storage on or about the store premises of limited quantities of such goods, wares or merchandise sufficient only to service such store. This use does not include Cannabis Retail Store or Retail Store.

**RETAIL STORE** means a building where goods, wares or merchandise are offered or kept for retail sale, and includes storage on or about the store premises of limited quantities of such goods, sufficient only to service such store. This use includes such stores as art supply shops, auto parts store, bicycle sales and repair, clothing stores, convenience stores, craft and hobby shops, florist, hardware, pharmacy, and small-scale grocery stores, but excludes Cannabis Retail Store or Grocery Store.

**RETAIL, GROCERY STORE** means a building of at least 1,000 m<sup>2</sup> where groceries and other merchandise are offered or kept for retail sale and includes storage on or about the store premises of limited quantities of such goods, wares or merchandise sufficient only to service such store. This use does not include Cannabis Retail Store, Retail or Retail Store.

**RENEWABLE ENERGY SYSTEM** means a system or device that is accessory to a principal use where energy is derived from sources that are not depleted by using them and transformed for use. Renewable energy systems include but are not limited to solar-electric, geothermal, or solar-thermal panel systems.

**RODEO FACILITY** means buildings, shelters, fences, corrals, holding pens, or other structures used for rodeo events.



**SECONDARY SUITE** means a subordinate, complete living unit with its own kitchen, sleeping area, and washroom facilities contained within another dwelling. The two dwelling units (the primary residence and the secondary suite) and any common spaces make up a single real estate entity that cannot be stratified or otherwise legally separated from the other.

**SERVICE STATION** means a business intended for the sale of fuel, alternative energy/fuels, lubricating oils, automotive fluids, may include a car wash, convenience store, electric vehicle charging stations, vehicle repair garage, and a restaurant as accessory uses.

**SHIPPING CONTAINER** means a large metal container with suitable strength for the shipping, handling and storage of goods. Shipping Containers are also known as 'sea cans' or 'intermodal containers'.

**SHORT TERM RENTAL** means an accessory use of an owner-occupied residence in which temporary overnight accommodation is provided to tourists and visitors for commercial purposes.

**SIGN** means a letter, numeral word, picture or attention-drawing devise, excluding traffic control devises, displayed out of doors in such a manner as to be visible from a highway but does not include any signs regulated by the BC Ministry of Transportation and Infrastructure.

**SINGLE DETACHED DWELLING** means a building that contains one primary dwelling unit and where permitted may contain a Secondary Suite.

**SITE COVERAGE** means the percentage of the parcel area that is occupied by non-permeable structures, including buildings, driveways, parking areas, pools, and covered patios.

**SMALL-SCALE AGRICULTURE** means the growing, producing and harvesting of fruit, vegetables, or flowers, the keeping of backyard hens, or the keeping of bees, for the purpose of financial gain. This use does not include Cannabis Cultivation or Cannabis Processing.

*See Section 4.9 for specific allowances.*

**SPECIAL EVENTS** means temporary events, such as carnivals, events, and festivals.

**TEMPORARY SALES** means sales carried out over a period not to exceed six (6) months in a twelve (12) month period.

**TEMPORARY USE** means a use or development established for a fixed period of time with the intent to discontinue the activity upon the expiration of the time period specified. Temporary use regulations are outlined in the Official Community Plan and enabled by the *Local Government Act*.

**TIMBER HARVESTING** means the growing and harvesting of trees for the purpose of financial gain.

**TOWNHOME BUILDING** means a building that is divided into three or more dwelling units. Each dwelling unit has its own independent entrance. Dwelling units can be oriented horizontally or vertically on a single lot or arranged horizontally and straddle the interior lot line of multiple lots with one unit located on each lot.

**TRAILS** means a path or track used for recreational purposes that provides a visibly apparent route to follow through the landscape, including any structures associated with the path such as bridges, boardwalks or viewing decks.

**TRAILS, MOTORIZED** means a Trail designated for the use of motorized recreational vehicles, including but not limited to ATVs, dirt bikes, and snowmobiles.



**TRANSPORTATION DEPOT** means a facility where buses, taxis, rideshare services, or other services that are mainly transporting people, and goods associated with those people, arrive and depart.

**TRUCK TRAVEL CENTRE** means premises serving the day-to-day traveling needs of commercial truck traffic, including but not limited to a service station, restaurants, washroom and shower facilities.

**UTILITY** means any structure, facility, or related equipment necessary for the operation of a utility, such as power lines, utility boxes, communication towers, telephone transformers, lift stations, pumping stations, water and sewage treatment plants, waste disposal areas, electrical and similar services where such use is established by one of the levels of government, a Crown corporation, or by a company regulated by a government commission.

**VEHICLE SALES, RENTAL AND SERVICE** means the premises for the sale, rental, lease, service, or restoration of new and / or used personal or recreational motor vehicles and the retail sales of parts, petroleum products, and alternative fuels for personal and recreational motor vehicles.

**VETERINARY CLINIC** means a use where the principal use is to provide medical treatment and/or hospitalization to animals/livestock. Boarding services may be provided on-site.

**WAREHOUSE FACILITY** means a facility for the transportation, storing, and distribution of goods, including but not limited to building supply storage, equipment and machinery parts storage, farm or logging supply storage, milk depot, storage and cartage, or utility storage.

**WELDING, MACHINING, OR METAL FABRICATION** means the use of land or facilities for the fabricating, machining, and welding, of materials, such as metals and thermoplastics, into products for sale and distribution, and may include the screened storage of scrap metal and other materials, but does not include salvage.

**WHOLESALE ESTABLISHMENT** means land or premises for the storing, distribution, and retail sale of goods, including but not limited to building materials and tools, equipment and machinery sales, heavy equipment, mobile and modular home display and sales, petroleum products, or septic services. This use does not include the storage and sale of wrecked vehicles and their parts.

**WIND ENERGY GENERATION SYSTEM** means the use of land or facilities to generate electricity utilizing windmills or wind turbines.

**WOODWORKING** means the use of land or facilities for the fabrication of primarily wood materials and products, including but not limited to roof trusses, furniture, cabinetry, or flooring.



## PART 3 - GENERAL REGULATIONS

### 3.1 USES PERMITTED IN ALL ZONES

3.1.1 The following uses shall be permitted in any zone:

- (a) Garage or Carport
- (b) Garden
- (c) Greenbelt
- (d) Playground
- (e) Small scale Renewable Energy Systems, subject to Subsection 4.10.
- (f) Signs, when conforming with the requirements outlined in the Sign Regulation Bylaw.
- (g) Trails
- (h) Utility

### 3.2 PROHIBITED USES

3.2.1 The following uses are prohibited in any zone:

- (a) Derelict vehicles.
- (b) Uses which may be noxious or offensive to any adjoining uses, except in industrial zones.

### 3.3 NON-CONFORMING USES

3.3.1 An existing building or structure deemed conforming prior to the date of adoption of this Bylaw, which fails to comply with the siting requirements herein, shall be deemed to be legal non-conforming. Any subsequent alterations or additions to such buildings shall be permitted only in accordance with the requirements of this Bylaw.

3.3.2 Any use permitted by a previously existing Zoning Bylaw which is no longer deemed a permitted use by this Bylaw shall be deemed to be legal non-conforming as per the *Local Government Act*.

### 3.4 MINIMUM PARCEL SIZE FOR SUBDIVISION

3.4.1 The following table outlines for each zone the minimum required parcel size of newly created lots as a result of a subdivision.

Zone	Minimum Parcel Size for Subdivision
Agricultural (AG)	4.00 hectares
General Residential (R1)	<ul style="list-style-type: none"> <li>• With community sewer: 1,000 m<sup>2</sup></li> <li>• Without community sewer: 1,672 m<sup>2</sup></li> </ul>
Medium Density Residential (R2)	<ul style="list-style-type: none"> <li>• With community sewer:               <ul style="list-style-type: none"> <li>○ Single Detached, Mobile: 1,000 m<sup>2</sup></li> <li>○ Duplex: 1,000 m<sup>2</sup></li> </ul> </li> </ul>



	<ul style="list-style-type: none"> <li>○ Semi-detached (each lot): 1,000 m<sup>2</sup></li> <li>● Without community sewer: 1,672 m<sup>2</sup></li> </ul>
Rural Residential (R3)	4.00 hectares
Manufactured and Mobile Home (R4)	2.00 hectares
General and Highway Commercial (C1)	1,672 m <sup>2</sup>
Tourism Commercial (C2)	<ul style="list-style-type: none"> <li>● 1,672 m<sup>2</sup></li> <li>● With aerodrome: 40 ha</li> </ul>
Light Industrial (M1)	2,000 m <sup>2</sup>
Restricted Industrial (M2)	1.00 hectare
Park and Open Space (P1)	No minimum
Institutional (IN)	<ul style="list-style-type: none"> <li>● With community sewer: 464 m<sup>2</sup></li> <li>● Without community sewer: 1,672 m<sup>2</sup></li> </ul>
Comprehensive Development (CD)	Minimum specific to each CD zone

### 3.5 ACCESSORY BUILDINGS, STRUCTURES, AND USE

- 3.5.1 Accessory uses and accessory buildings or structures are permitted in all zones where a permit has been issued for a principal use.
- 3.5.2 Unless otherwise specified in this Bylaw or approved by the Development Authority, accessory buildings and structures are not permitted on any parcel unless the principal building to which the building or structure is accessory has already been erected or will be erected simultaneously.
- 3.5.3 A garage or carport attached to and forming part of a principal building or structure shall be considered to be part of the principal building or structure.
- 3.5.4 A greenhouse of more than 10 m<sup>2</sup> is considered as an accessory building.
- 3.5.5 Accessory buildings must be a minimum distance of 1.5 metres from the principal building and other accessory buildings, except for shipping containers which must be a minimum of 3.0 metres from all combustible structures.
- 3.5.6 For Accessory Buildings that include an Accessory Dwelling Unit, such as a carriage home with a suite above



a garage, the 90.0 m<sup>2</sup> maximum GFA only applies to the non-residential area of the building. The Accessory Dwelling Unit's maximum GFA is in addition to the Accessory Building's maximum GFA.

- 3.5.7 Accessory buildings and structures must conform with the development regulations outlined in the zone in which it is to be erected.

### 3.6 PERMITTED PROJECTIONS INTO SETBACKS

- 3.6.1 In all zones, the allowable encroachments are permitted as follows:

Encroachment Type	Encroachment Distance		
	Front Yard	Rear Yard	Side Yard
Chimneys, cornices, leaders, gutters, pilasters, belt courses, sills, bay windows, door canopies, or other similar features.	0.60 m	0.60 m	0.60 m
Mechanical equipment, including heat pump compressors, air conditioning units, and similar devices.	0.00 m	1.22 m	0.9 m
Satellite dishes, antennas, flag poles	Unlimited	Unlimited	Unlimited
Eaves, canopies, decorative overhangs, balconies, or porches.	1.22 m	1.22 m	1.22 m (exterior side) 0.60 m (interior side)
Steps, ramps, or boardwalks required for safe access to a permitted primary or accessory structure due to parcel grade, provided that it does not impede fire access to or around the building.	Unlimited	Unlimited	Unlimited
Wheelchair ramps, provided that the ramp does not impede fire access to or around the building and is complimentary to and well integrated into the existing building.	Unlimited	Unlimited	Unlimited

Encroachment Type	Encroachment Distance		
	Front Yard	Rear Yard	Side Yard
Uncovered patios or sundecks, provided that they meet any fence requirements of this Bylaw.	2.44 m	0.60 m	0.0 m

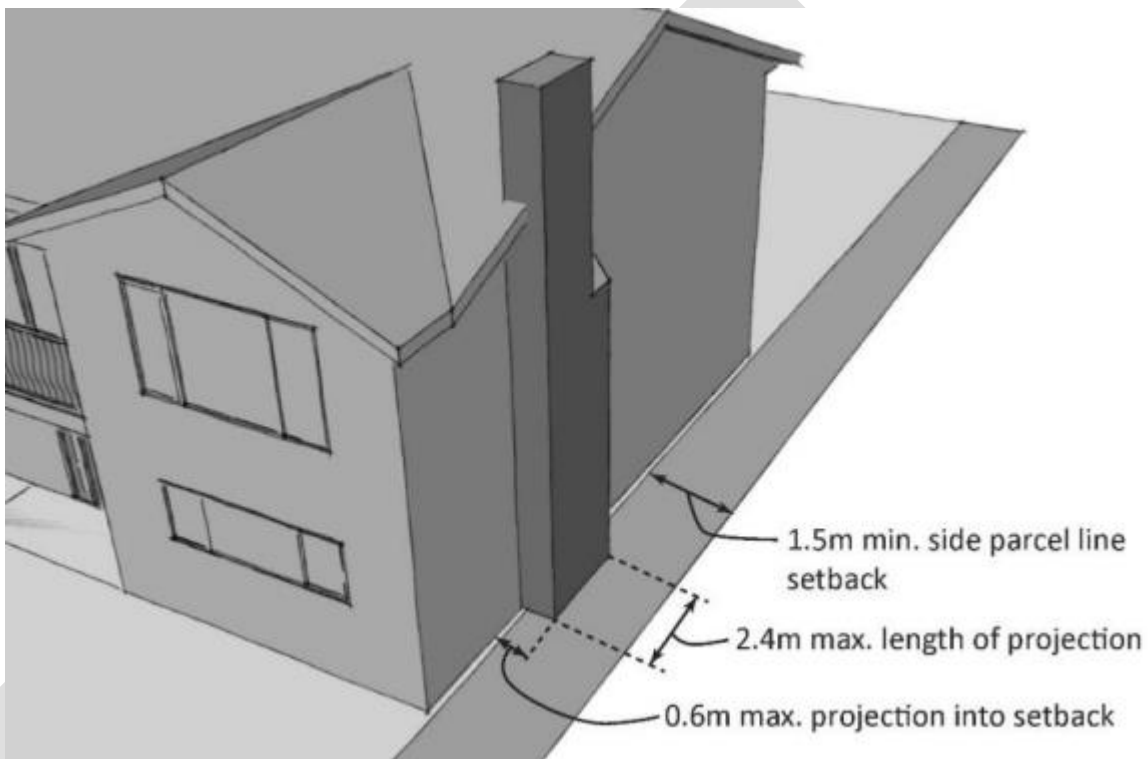


Figure 10 – Example of Projections into a Side Setback

### 3.7 HEIGHT EXCEPTIONS

3.7.1 The maximum height regulations of this Bylaw may be exceeded by up to 3.0 metres for the following:

- (a) Chimney stacks
- (b) Elevator housings
- (c) Parapet walls
- (d) Roof stairway entrances
- (e) Skylights
- (f) Steeples



- (g) HVAC equipment
- (h) Any other items deemed by the Development Authority to be of a similar nature to those noted above.

### 3.8 VISUAL CLEARANCE AT INTERSECTIONS

- 3.8.1 No landscaping, screening, building, or structure shall be planted or erected at a height greater than 0.91 metres above the established grade within the shaded space, as illustrated in **Figure 10**. This shaded space spans 6.10 metres in either direction from the corner of a parcel.

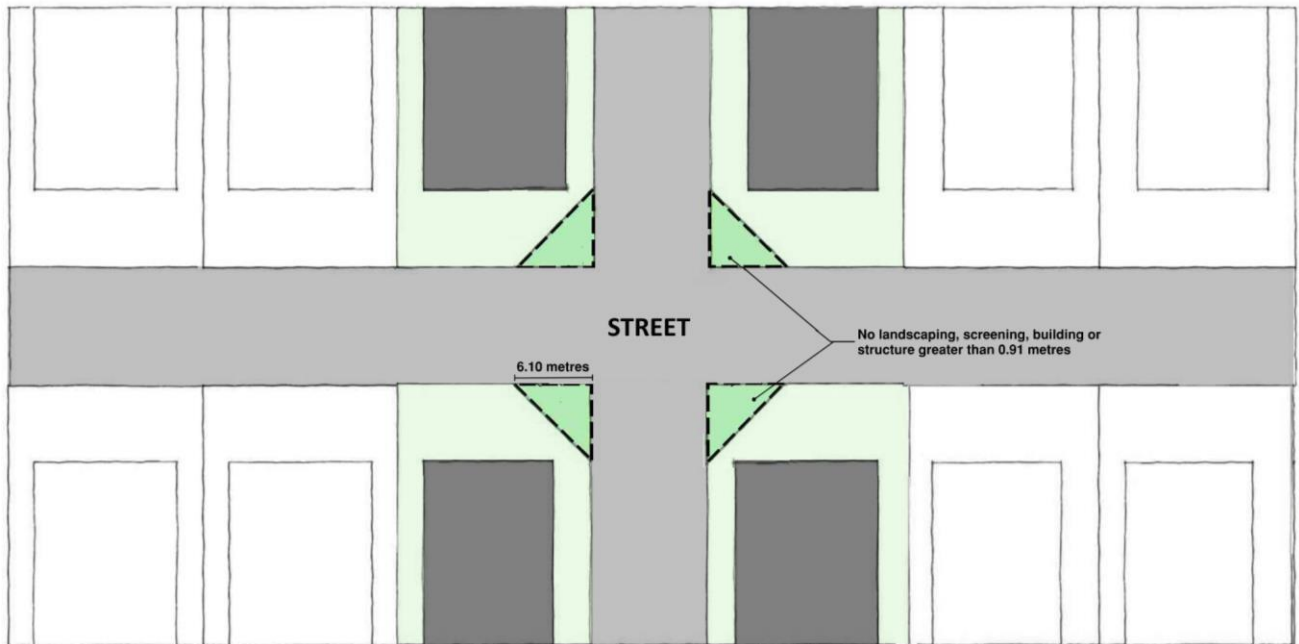


Figure 11 – Visibility at Intersections, Area that landscaping, screening, building, or structures are prohibited over 0.91 metres in height

### 3.9 VARIABLE REGULATIONS BASED ON SEWER AND WATER SERVICING

- 3.9.1 All developments within the Regional District shall adhere to any relevant Regional District policies and regulations or Provincial and Federal legislation pertaining to water, sanitary and utility services.
- 3.9.2 All new residential, commercial, and industrial development shall be required to connect to Regional District utilities, when servicing infrastructure is available.
- 3.9.3 Except for strata developments, each unit of a semi-detached dwelling or townhome building shall be individually and directly connected to the water and sanitary lines located in the public right-of-way. Strata developments and rental apartment buildings shall have one connection for each of sewer and water.
- 3.9.4 The design, installation and setback of a private wastewater system shall be in accordance with current legislation.
- 3.9.5 Where piped Regional District sanitary sewer service is not available, the owner or authorized agent shall provide a private water supply and sewage disposal system approved in accordance with relevant Provincial and Federal regulations.
- 3.9.6 Where a building is not connected to a Regional District wastewater system, the Development Authority

shall require, as a condition of issuing a Building Declaration and Siting Approval Permit that:

- (a) In the case of a new building, the applicant provides the Regional District with evidence that a permit from the Health Authority has been obtained by the developer for the installation of a private wastewater system in accordance with current legislation and standards, prior to commencement of any construction; or
- (b) In the case of an addition to an existing building, the developer provides either a permit referenced in Subsection 3.9.6(a) or a statement signed and sealed from a qualified professional that the existing wastewater system operates properly and is capable of handling the additional
- (c) wastewater expected to be generated as a result of the addition, prior to the commencement of any construction; and
- (d) In the case of the construction of a new building or the addition to an existing building, proof that the building or addition does not cover existing or proposed wastewater systems.

3.9.7 The Development Officer may require that a developer provide evidence that an inspection of a private wastewater system was undertaken by the Health Authority that issued the permit for the wastewater system and that the inspection showed the system to have been properly installed.

### **3.10 UTILITY SERVICES**

3.10.1 A utility connection to Regional District infrastructure must be inspected and approved by the Regional District. It is the responsibility of the developer to ensure that the Regional District is notified of the date of installation for inspection purposes.

3.10.2 A person shall not begin the excavation for the foundation nor commence the development until provision has been made for utility services or facilities to the satisfaction of the Development Officer and the person has made a BC1 call.

3.10.3 A pre-design report shall provide details with respect to the proposed location of all utilities, including gas, electrical street lighting, telephone, cable television, or fibre-optic. The utility services shall be shown on an overall utility services plan.

### **3.11 DERELICT VEHICLES**

3.11.1 The outdoor storage of vehicles (including parts thereof) which are in a state of disrepair, wrecked, abandoned, or being dismantled for salvage, or which are not licenced for the current year, is prohibited, except as specifically permitted by this Bylaw.

### **3.12 LANDS WITHIN THE BC AGRICULTURAL LAND RESERVE**

3.12.1 Notwithstanding any other provision of this Bylaw, all lands within the Agricultural Land Reserve (ALR) are subject to the provisions of the Agricultural Land Commission Act, regulations thereto, and orders of the Agricultural Land Commission (ALC), except those exempted by the ALC.

3.12.2 Where land presently within the Agricultural Land Reserve is:

- (a) Excluded from the Agricultural Land Reserve; or
- (b) Exempted by the Agricultural Land Commission Act; or
- (c) Exempted by regulations made under the Agricultural Land Commission Act or an order of the ALC;

the provisions of this Bylaw shall be binding.



### 3.13 FLOODPLAINS AND WATERCOURSES

- 3.13.1 Notwithstanding any other provisions of this Bylaw, no building or any part thereof shall be constructed, reconstructed, placed, moved or extended within the designated flood hazard area unless it meets the regulations outlined in the Floodplain Management Bylaw.
- 3.13.2 Any person doing work in and around a stream or watercourse must comply with the Water Sustainability Act and any other provincial or federal legislation that may apply.

### 3.14 TEMPORARY USE

- 3.14.1 Temporary uses shall conform with the policies outlined in the Official Community Plan and the Local Government Act.
- 3.14.2 Temporary use permits may be allowed in all zones except for the following
- (a) General Residential Zone R1
  - (b) Medium Density Residential R2
  - (c) Rural Residential Zone R3 on lots under 4.00 hectares.
- 3.14.3 The following general conditions must be met before a Temporary Use Permit is issued:
- (a) The proposed use is consistent with the Official Community Plan designation for the land and any other relevant policies adopted by the Board.
  - (b) If the proposed use is not consistent with any such plan or Board policy, the nature and extent of any community benefit from the proposed use can be considered.
  - (c) The proposed use is of a temporary nature. Otherwise, it may be more appropriate for the Regional District to consider permitting the use by rezoning.
  - (d) The proposed use does not require the Regional District Board to construct new infrastructure to accommodate the demand placed on its services.
  - (e) The compatibility and impact of the proposed use, including its operation, function, appearance and intensity of use on the surrounding area. This includes compatibility with adjacent land uses, as well as consideration of other undesirable or noxious externalities such as smoke, noise, vibration, dirt, glare, odour, radiation, or electrical interference.
  - (f) That the proposed use complies with other Provincial and Federal enactments.
  - (g) That traffic impacts are mitigated in a manner approved by the Ministry of Transportation and Infrastructure, where applicable.
  - (h) That there is a plan for relocation of the proposed use once the permit has lapsed.



## PART 4 - SPECIFIC USE REGULATION

### 4.1 HOME-BASED BUSINESS

4.1.1 A home-based business, when permitted in any zone, shall be subject to the following regulations:

- (a) Any applicable provincial or federal licencing or local government licencing.
- (b) The home-based business shall comply with any applicable provincial and federal regulations.
- (c) A home-based business shall not be engaged by anyone other than the occupants living in the dwelling and up to two (2) other persons.
- (d) The use of a dwelling unit for a home-based business shall be incidental and subordinate to its use for residential purposes.
- (e) A home-based business must be conducted in a principal dwelling and/or its accessory building(s), unless it is a Small-Scale Agriculture or Home-Based Agriculture use, in which case, it may be conducted outside of onsite buildings.
- (f) There shall be no change in the outside appearance of a dwelling or other visible evidence of the conduct of a home-based business in it, other than signage as outlined in the Sign Regulation Bylaw.
- (g) Any need for parking generated by the conduct of a home-based business shall be met on-site.
- (h) If the home-based business may impact the surrounding area, as determined by the Development Authority, the hours of operation may be restricted between the hours of 18:00 to 8:00.
- (i) There shall be no equipment used or stored in a home-based business which creates noise, vibration, glare, fumes, odours, smoke or electrical interference.
- (j) There shall be no equipment used in a home-based business which creates visual or audible electrical interference in any radio or television receiver off the premises, or which causes fluctuations in line voltage off the premises.
- (k) There shall be no goods, materials or commodities stored or kept in connection with a home-based business other than in the dwelling and/or in an accessory building.
- (l) Retail sales shall not be permitted in a home-based business except for:
  - (i) Products incidental to a service being provided;
  - (ii) Sales where the customer does not enter the premises (e.g., mail order, telephone, direct distributions, and online sales); and
  - (iii) Products produced on the site.
- (m) If, in the opinion of the Development Authority, a home-based business is or has become detrimental to the amenities of the neighbourhood, enforcement action may be taken.

### 4.2 SHORT TERM RENTALS

4.2.1 A Short Term Rental, when permitted in any zone, shall be subject to the following regulations:



- (a) All parking for the principal dwelling and the associated Short Term Rental shall be provided on-site.
- (b) One (1) on-site parking stall shall be provided, in addition to the parking required for the principal Dwelling.
- (c) The length of stay for a lodger shall not exceed 30 consecutive days and not more than 90 days in a calendar year.
- (d) The operator/owner shall live on the premises where the Short Term Rental is active. The Short Term Rental shall operate within the principal residence of the operator/owner or in an Accessory Dwelling Unit.
- (e) The Short Term Rental may be permitted to display signage as outlined in the Sign Regulation Bylaw.
- (f) The Short Term Rental shall not change the principal residential character or external appearance of the dwelling involved.
- (g) The Short Term Rental shall comply with any applicable provincial and federal regulations.
- (h) If, in the opinion of the Development Authority, a Short Term Rental is or has become detrimental to the amenities of the neighbourhood, enforcement action may be taken.

### 4.3 SECONDARY SUITES

4.3.1 Where permitted, all Secondary Suites shall be subject to the following regulations:

- (a) A maximum of one secondary suite shall be permitted within a principal dwelling.
- (b) The principal dwelling may be a Single Detached Dwelling or Semi-Detached Dwelling.
- (c) The Secondary Suite must be contained within the same building as the principal dwelling.
- (d) Secondary Suites have a minimum gross floor area of 20.0 m<sup>2</sup> and a maximum gross floor area that is subordinate to the principal dwelling.
- (e) A Secondary Suite must be fully separated from the associated principal dwelling by walls, partitions and/or floors and from other occupied spaces by a vertical fire separation as illustrated in **Figure 10**.
- (f) A Secondary Suite must have an entrance from the exterior of a building which is separate from the main entrance of the principal dwelling.
- (g) Secondary Suites must share common utility connections with the principal dwelling.
- (h) The establishment of a Secondary Suite requires a building permit.
- (i) All parking for the principal dwelling and the associated Secondary Suite shall be provided on-site. Parking requirements are detailed in Part 5 of this Bylaw.
- (j) At least one parking space for the principal dwelling and one parking space for the Secondary Suite must be located so as to provide direct vehicular access to the street without obstruction by a vehicle parked in another parking space.
- (k) Rentals of a Secondary Suite must have a minimum tenancy period of one month.



- (l) The Secondary Suite shall comply with any applicable provincial and federal regulations.

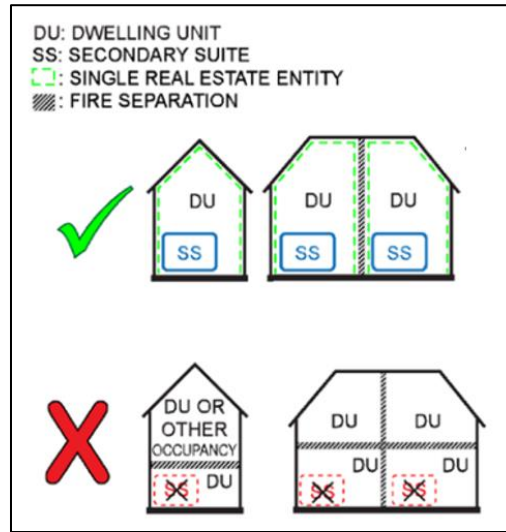


Figure 11 - Illustration of a Secondary Suite Within a Principal Building

**4.4 ACCESSORY DWELLING UNITS**

4.4.1 Where permitted, all Accessory Dwelling Units shall be subject to the following regulations:

- (a) Accessory Dwelling Units are only permitted on lots greater than 4 hectares.
- (b) An Accessory Dwelling Unit is only permitted within an accessory building on the same parcel as a single detached dwelling, duplex or semi-detached dwelling. See **Figure 11**.

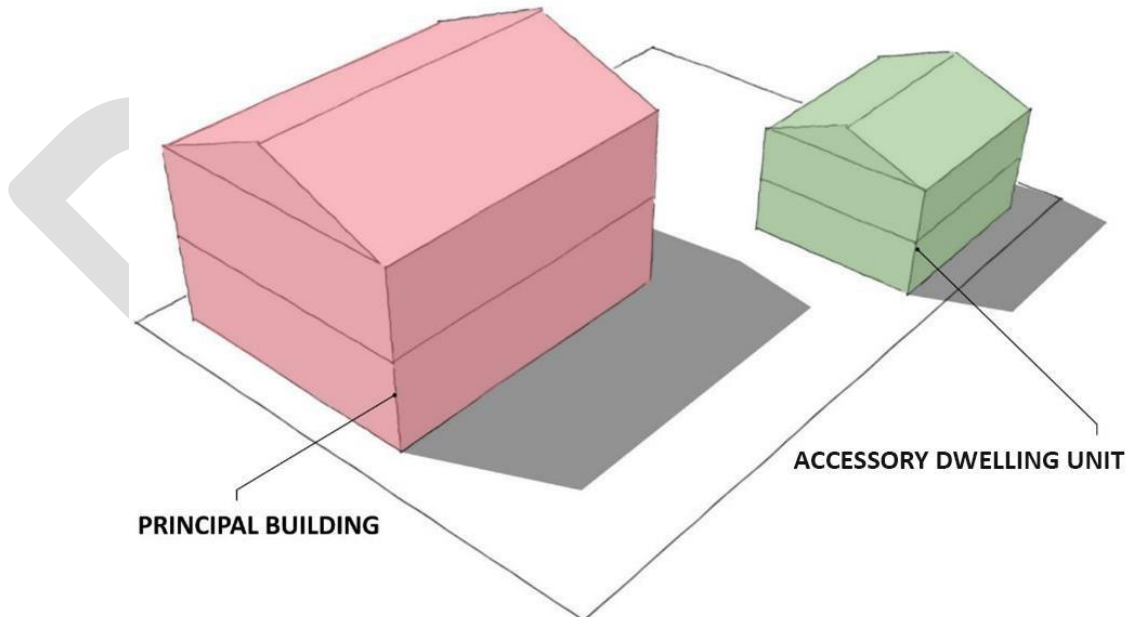


Figure 11 - Illustration of an Accessory Dwelling Unit and Principal Building on Same Parcel

- (a) Accessory Dwelling Units are only permitted as an accessory use in conjunction with a permitted principal residential use.
- (b) The minimum lot size for a parcel containing an Accessory Dwelling Unit is 4 hectares.
- (c) One Accessory Dwelling Unit up to 90 m<sup>2</sup> in gross floor area is permitted on a lot 40 hectares or smaller, where there is a lawfully constructed principal dwelling unit of 500 m<sup>2</sup> or less.
- (d) One ADU up to 186 m<sup>2</sup> in gross floor area is permitted on a lot larger than 40 hectares where there is a lawfully constructed principal dwelling unit. A maximum of one Accessory Dwelling Unit per parcel is permitted.
- (e) At the discretion of the Development Authority, an Accessory Dwelling Unit may be constructed prior to the primary dwelling, subject to an agreement with the Regional District that details the following:
  - (i) The time limit of how long the Accessory Dwelling Unit can exist without the construction of the primary building;
  - (ii) The placement of the Accessory Dwelling Unit must allow for sufficient space to construct the primary dwelling;
- (f) An Accessory Dwelling Unit may be constructed above a detached garage or accessory building, subject to RDKS building regulations and the BC Building Code.
- (g) An Accessory Dwelling Unit must share common utility connections with the principal building.
- (h) The establishment of an Accessory Dwelling Unit requires a building permit.
- (i) The maximum gross floor area of an Accessory Dwelling Unit is 90.0 m<sup>2</sup>.
- (j) Accessory Dwelling Units must be a minimum of 3.0 metres from the principal dwelling and 1.5 metres from other accessory buildings.
- (k) All parking for the principal dwelling and the associated Accessory Dwelling Unit shall be provided on-site. Parking requirements are detailed in Part 5 of this Bylaw.
- (l) At least one parking space for the principal dwelling and one parking space for the Accessory Dwelling Unit must be located so as to provide direct vehicular access to the street without obstruction by a vehicle parked in another parking space.
- (m) Rentals of an Accessory Dwelling Unit must have a minimum tenancy period of one month.
- (n) Accessory Dwelling Units shall not be subdivided or strata titled.
- (o) The Accessory Dwelling Unit shall comply with any applicable provincial and federal regulations.
- (p) Where a property is not connected to community water or community sewer, the method by which sewage is to be disposed of shall be in compliance with the Drinking Water Protection Act, Public health Act, and the Environmental Management Act.

## 4.5 SHIPPING CONTAINERS

- 4.5.1 Where permitted, shipping containers may be used as accessory buildings, including for the purposes of storage, if the shipping container has been converted to meet the following



requirements:

- (a) A vent shall be installed in the lower portion of the shipping container doors. The vent must be approximately 0.30 metres by 0.30 metres for containers of 6.10 metres or shorter in length and approximately 0.50 metres by 0.50 metres for containers greater than 6.10 metres in length.
- (b) A vent shall be installed in the upper portion of the shipping container opposite the doors. The vent must be approximately 0.30 metres by 0.30 metres for containers of 6.10 metres or shorter in length and approximately 0.50 metres by 0.50 metres for containers greater than 6.10 metres in length.
- (c) A placard, which lists all dangerous goods contained with the shipping container, shall be affixed to the most visible side of the shipping container.

4.5.2 Shipping containers shall meet the minimum required setbacks for accessory buildings.

4.5.3 Shipping containers shall be placed on a lot in a manner that the container is a minimum of 3.0 metres from all combustible structures.

4.5.4 Shipping containers shall be placed on a lot in a manner that the container's doors face away from entrances and windows of the principal building and must be a minimum of 10 metres from occupied buildings on adjacent properties.

4.5.5 Shipping Containers shall not be placed on a lot in a manner that the containers exceed the maximum height restriction for accessory buildings specified in the development regulations for the zone.

4.5.6 Shipping Containers shall be screened from view from the street, either by being placed behind a principal building or accessory building or by the erection of a fence.

4.5.7 Shipping containers cannot be used for occupancy purposes.

4.5.8 Any person keeping bees must provide adequate water to prevent the bees from seeking water from other sources, take all reasonable measures to prevent swarming and aggressive behaviour, and if bees swarm or show signs of aggressive behaviour, ensure that the bees are requeened as soon as possible.

4.5.9 No more than one beehive for every 1,000 m<sup>2</sup> of land.

4.5.10 The positioning of beehives must enable a clear flight path of at least 4.5 m straight ahead from the front of the beehive to any Lot Line, building or structure.

#### **4.6 BOARDING OR BREEDING FACILITIES AND KENNEL**

4.6.1 Any person who maintains a Boarding or Breeding Facility must adhere to all provincial boarding or breeding regulation.

4.6.2 Where permitted, Boarding or Breeding Facilities or associated uses must be:

- (a) Setback a minimum of 20 metres from all property lines;
- (b) Contained and screened from adjacent parcels by a solid view obstructing fence or wall;
- (c) Maintained in a clean, sanitary, dry, and well ventilated condition.

#### **4.7 HOME-BASED AGRICULTURE**

4.7.1 Home-Based Agriculture may include a maximum of one (1) Animal Unit of livestock for each 4,000 m<sup>2</sup> (0.4 hectare) area, up to a maximum of ten (10) Animal Units.



## **4.8 INTENSIVE AGRICULTURE**

4.8.1 Intensive agriculture may include a maximum of three (3) Animal Units of livestock for each 1-hectare area.

## **4.9 SMALL-SCALE AGRICULTURE**

4.9.1 Vegetables, fruits, and flowers

- (a) A property owner may grow or harvest, or allow a third party to grow and harvest, products, as specified in Subsection 4.9 on their property for financial gain.
- (b) The growing of plants for retail sale may include vegetables, fruits, or flowers, but excludes mushrooms.

4.9.2 Keeping of hens

- (a) A person maintaining hens must reside on the property where the hens are kept, or obtain written permission from the property owner.
- (b) A minimum of two and maximum of four hens may be kept on a property of less than 2,000 m<sup>2</sup>. An additional two hens are permitted for each additional 2,000 m<sup>2</sup> of land.
- (c) Roosters are prohibited.
- (d) The keeping of hens must not cause a nuisance.
- (e) Backyard hens must be kept in a backyard hen enclosure, which is located to the rear of the principal building.
- (f) Situate coops at least 1.5 metres from the property line and 3 metres from windows and doors of a dwelling
- (g) provide each hen with at least 0.5 m<sup>2</sup> of coop floor area, and at least 1.0 m<sup>2</sup> of roofed outdoor enclosure
- (h) Only one structure (coop) containing backyard hens is permitted on each property.
- (i) Provide and maintain, in each coop, at least one perch, for each hen, that is at least 15 centimetres long, and one nest box provide and maintain a floor of any combination of vegetated or bare earth in each outdoor enclosure.
- (j) Hens must not be kept in a cage.
- (k) provide each hen with food, water, shelter, light, ventilation, veterinary care, and opportunities for essential behaviors such as scratching, dust-bathing, and roosting, all sufficient to maintain the hen in good health
- (l) Maintain each hen enclosure in good repair, in a manner that prevents entrance by other animals (fully enclosed) and keep the enclosure in sanitary condition, free from vermin and obnoxious smells and substances. Poultry, manure, and waste products associated with the keeping of hens must be composted or disposed of to prevent odours.
- (m) Any diseased hen must be killed and the carcass destroyed. No slaughtering or euthanization of hens may occur on the property.
- (n) Follow biosecurity procedures recommended by the Canadian Food Inspection Agency.



### 4.9.3 Beekeeping

- (a) No more than two beehives on a property of less than 2,000 m<sup>2</sup>. One additional beehive is permitted for each additional 2,000 m<sup>2</sup> of land.
- (b) The keeping of bees must not cause a nuisance.
- (c) All beehives must be located in a rear yard and oriented to face away from adjacent properties and lanes.
- (d) Beehives have side and rear setbacks of 4.5 metres.
- (e) Any person keeping bees must provide adequate water to prevent the bees from seeking water from other sources, take all reasonable measures to prevent swarming and aggressive behaviour, and if bees swarm or show signs of aggressive behaviour, ensure that the bees are requeened as soon as possible.

## 4.10 CANNABIS RETAIL STORE

- 4.10.1 No Cannabis Retail Store shall be located within 300 metres from any school property or licensed daycare facility. The distance is measured from the outermost extremities from said properties to any portion of the Cannabis Retail Store.
- 4.10.2 No Cannabis Retail Store shall be located within 100 metres from another Cannabis Retail Store, measured from the outermost extremity of said properties.
- 4.10.3 Only one (1) Cannabis Retail Store shall be permitted per parcel.

## 4.11 RENEWABLE ENERGY SYSTEMS

- 4.11.1 Small scale renewable energy systems, such as rooftop solar panels, geothermal, or heat pumps, are permitted in all zones. This does not include wind turbines.
- 4.11.2 Large scale renewable energy systems, such as solar farms or district energy, are restricted to the RUM, M1 and M2 zones. Wind energy generation systems (wind turbines) are not permitted in any zone.
- 4.11.3 The maximum height of a renewable energy system shall be at the discretion of the Development Authority, which shall take into consideration the lot area and dimensions, system location, system specifications, and potential impact to neighbouring properties.
- 4.11.4 All powerlines connecting the energy generation system to a substation, grid, or other facility to which power is provided shall be underground, unless an overhead installation is approved by the Development Authority.
- 4.11.5 Energy generation systems shall ensure there are no nuisance effects that extend beyond the site to the satisfaction of the Development Authority.
- 4.11.6 The Development Authority may require the developer to locate and screen the energy generation system by land forms (such as berms), natural vegetation or other means acceptable to the Development Authority to minimize its visual impact on adjacent residences, public roads, trails or other public areas.
- 4.11.7 A development impact assessment may be required by the Development Authority to determine the effect of the system on wildlife, birds, and pets.
- 4.11.8 To ensure public safety, the Development Authority may require that a security fence not less than 1.80 m in height be erected, or safety mechanism or procedures be employed to prevent access to the energy generation system.
- 4.11.9 Any signage must conform to the Sign Regulation Bylaw. When an energy generation system



becomes obsolete, it shall be immediately removed and the development site reclaimed.

4.11.10 The minimum setbacks of an energy generation system shall be equal to the distance of the total system height to any property line, but in no case shall the setback be less than the minimum yard setback distances specified in the land use district in which it is located. This distance may be relaxed at the discretion of the Development Authority if it deems that due to the design, characteristics and location, the small energy conversion system will not have any adverse impacts on neighbouring properties.

## **4.12 ANIMAL UNIT**

4.12.1 An animal unit is equivalent to any one of the following:

- (a) 25 poultry (geese, ducks, pigeons, chickens, etc);
- (b) 20 fur bearing animals (rabbits, etc);
- (c) 0.66 cows or bulls;
- (d) 1 swine;
- (e) 1 horse, donkey, or mule; and
- (f) 3 sheep or goats;
- (g) 4 beehives, provided they meet the following requirements:
  - (i) Any person keeping bees must adhere to all provincial bee keeping regulations.
  - (ii) Any person keeping bees must provide adequate water to prevent the bees from seeking water from other sources, take all reasonable measures to prevent swarming and aggressive behaviour, and if bees swarm or show signs of aggressive behaviour, ensure that the bees are requeened as soon as possible.
  - (iii) The positioning of beehives must enable a clear flight path of at least 4.5 m straight ahead from the front of the beehive to any Lot Line, building or structure.

4.12.2 For the purposes of the above Animal Unit calculations, a mothering animal and its pre-weaned offspring are counted as one animal.

4.12.3 Where a fraction occurs when calculating the number of livestock or poultry permitted the number will be rounded down to the nearest number representing a whole animal.



## PART 5 - OFF-STREET PARKING AND LOADING

### 5.1 OFF-STREET PARKING SPACE REGULATIONS

- 5.1.1 The Development Officer may require all developments in non-residential zones to provide as a minimum, a durable, gravel surfaced parking area with sufficient slope to ensure proper drainage.
- 5.1.2 When land or a building or structure is used for any purpose, there shall be, provided on the lot or an alternate site, the number of parking spaces and vehicle off-street loading and parking areas as specified in Table 2.

Table 1 – Minimum Parking Requirements

MINIMUM PARKING REQUIREMENTS				
TYPE OF DEVELOPMENT / USE	VEHICLE PARKING SPACES	VEHICLE LOADING SPACES	ELECTRIC VEHICLE CHARGING STATIONS	BICYCLE PARKING SPACES
Single Detached Dwelling	2 per dwelling unit	None	None	None
Duplex or Semi-detached Dwelling	1 per dwelling unit	None	None	None
Secondary Suite	1 in addition to principal dwelling unit	None	None	Long-term: 1 for the suite
Short Term Rental	1 per suite in addition to the number required for the principal dwelling unit	None	0.50 per suite	Short-term: 0.5 per suite
Home-based Business	1 in addition to the number required for the principal dwelling unit	None	None	Short-term: 1 for businesses that have client visits



Care Facility, Childcare Centre	0.5 per dwelling unit or care bed plus 0.25 per employee	1	0.10 per employee	Short-term: 0.25 per employee
Hotels, motels	1.25 per sleeping room	1	0.25 per sleeping room	Short-term: 0.25 per sleeping room
Offices, business and personal service establishments, and retail stores	1 per 50 m <sup>2</sup> of gross floor area	1 if over 300 m <sup>2</sup> of gross floor area	If gross floor area is over 250 m <sup>2</sup> : 0.05 per parking stall	Short-term: 1 per 100 m <sup>2</sup> of gross floor area
Service station	2 per gas pump or 2 per service bay or 1 per 250 m <sup>2</sup> of gross floor area, whichever is greater	1	0.5 per gas pump or 0.5 per service bay or 1 per 250 m <sup>2</sup> of gross floor area, whichever is greater	None
Industrial uses	1 per 4 employees per shift, minimum of 4	1 space per loading dock / loading door	0.10 per parking stall	0.10 per employee per shift
Eating and drinking establishments	If 16 seats or fewer: 1 stall; For all other establishments: 1 per 4 seats	1	If gross floor area is over 250 m <sup>2</sup> : 0.05 per vehicle parking stall	Short-term: 1 per 16 seats
Schools – Kindergarten and Elementary	1 per classroom	1 per building	0.25 per classroom	Long-term: 0.25 per classroom; Short-term: 5 per classroom
Schools – Other	1 per classroom and 1 per 30m <sup>2</sup> of gross floor area	1 per building	0.25 per classroom	Short-term: 2 per classroom
Indoor Recreation Facilities, Clubs, Assembly Halls	1 per 30m <sup>2</sup> of gross floor area	1	1 per 250 m <sup>2</sup> of gross floor area	1 per 100 m <sup>2</sup> of gross floor area



Outdoor Recreation and Parks	2	None	1	8
Theatre, Arena, Auditorium, Church	1 per 8 seats	1	0.05 per vehicle parking stall	1 per 32 seats

- 5.1.3 Mobility scooter parking spaces can be installed instead of bicycle parking spaces, where appropriate.
- 5.1.4 Where any development comprises uses in several of the categories mentioned in Table 2, the parking requirement is that of the category requiring the highest number of parking spaces.
- 5.1.5 When the calculation of the required off-street parking spaces or loading spaces results in a fraction, the calculation shall be rounded up.
- 5.1.6 No person shall keep a derelict vehicle for more than fourteen (14) days on a lot, site or street unless authorized under the provisions of this Bylaw.
- 5.1.7 If a change in use is proposed, or when any existing development is, in the opinion of the Development Authority, substantially enlarged or increased in capacity, off-street parking must be provided in accordance with the regulations of this Bylaw.

## 5.2 PARKING AND MANEUVERING DESIGN

- 5.2.1 All parking space access points, parking, and loading areas shall be specified to the satisfaction of the Development Authority having due regard to the use proposed, the type of traffic expected to be generated, roadway function and visibility, emergency vehicle movement and the needs of the elderly and disabled.
- 5.2.2 All off-street parking areas shall conform to the following requirements in **Table 2** and conform with the Parking Design Standards as per **Figure 12**.

Table 2 – Parking Design Standards, Minimum Requirements

PARKING DESIGN STANDARDS				
A	B	C	D	E
PARKING ANGLE IN DEGREES	WIDTH OF STALL METERS	DEPTH OF STALL PERPENDICULAR TO MANEUVERING AISLE IN METERS	WIDTH OF STALL PARALLEL TO MANEUVERING AISLE IN METERS	WIDTH OF MANEUVERING AISLE IN METERS
0	2.6	2.6	6.7	One way 3.5
30	2.6	4.9	5.2	One way 3.5
45	2.6	5.5	3.6	One way 3.5
60	2.6	5.8	2.8	One way 5.8
90	2.6	5.8	2.6	One way 7.0



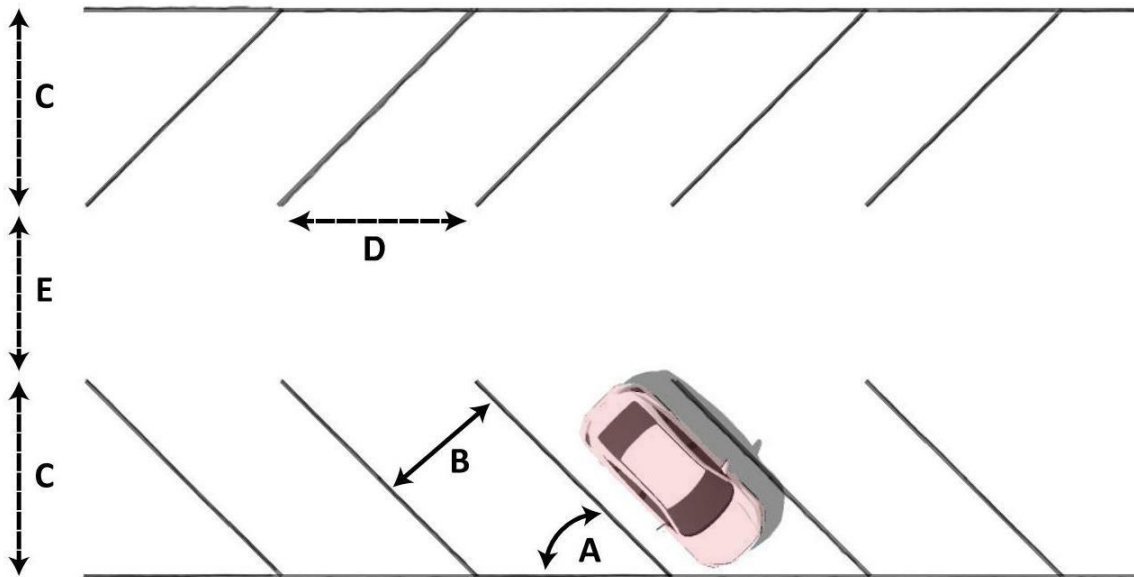


Figure 12- Parking Design Standards

### 5.3 BICYCLE PARKING REQUIREMENTS

5.3.1 Each long-term bicycle parking space shall be:

- (a) At least 0.60 m wide by 1.80 m long, with a vertical clearance of at least 1.25 m.
- (b) Covered within a building, under roof overhangs or awnings, in bicycle storage lockers, or within or under other structures.
- (c) Located in a locked room, closet, bicycle storage locker, an area enclosed by a fence with a locked gate, an area monitored by a security camera, or an area that is visible from employee work areas.

5.3.2 When a bicycle rack is provided for long-term bicycle parking, the rack shall be:

- (a) anchored to the floor, wall, or ceiling of the covered space in which it is located.
- (b) Capable of enabling a bicycle frame and front or rear wheel to be locked to the rack with a U-shaped lock if both wheels are left on the bicycle.

5.3.3 Each required short-term bicycle parking space shall be:

- (a) At least 0.60 m wide by at least 1.80 m long with a vertical clearance of at least 1.25 m.
- (b) Located outside a building in a convenient, well-lit location that is visible from the abutting street.

5.3.4 When a bicycle rack is provided for short-term bicycle parking, the rack shall be:

- (a) Capable of enabling a bicycle frame and front or rear wheel to be locked to the rack with a U-shaped lock if both wheels are left on the bicycle.
- (b) Constructed of theft resistant material and be securely anchored to the floor, ground, or exterior of a building.



#### **5.4 LOADING SPACE REQUIREMENTS**

- 5.4.1 The number of commercial off-street loading spaces provided for a development must conform with Table 2.
- 5.4.2 Loading spaces must be no less than 3.00 metres in width, 7.60 metres in length, and 4.30 metres in height.
- 5.4.3 Loading spaces must be designed to:
- (a) Provide vehicular access to and from a street or land such that no backing or turning movements of vehicles going to and from the site causes interference with traffic in the abutting streets or lanes;
  - (b) Be sited at an elevation or elevations convenient to a major floor level in the building or to a utility serving each major floor level.

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## PART 6 - ZONES AND ZONE REGULATIONS

### 6.1 LIST OF ZONES

6.1.1 For the purpose of this Zoning Bylaw, Electoral Area C of the Regional District of Kitimat-Stikine is divided into the following Zones:

(a)	Agricultural	AG
(b)	General Residential	R1
(c)	Medium Density Residential	R2
(d)	Rural Residential	R3
(e)	Manufactured & Mobile Home	R4
(f)	Central & Highway Commercial	C1
(g)	Tourism Commercial	C2
(h)	Light Industrial	M1
(i)	Restricted Industrial	M2
(j)	Park	P1
(k)	Institutional	IN
(l)	Comprehensive Development	CD



## **6.2 AGRICULTURAL ZONE (AG)**

### 6.2.1 Zone Intent:

- (a) This zone is to provide for a range of agricultural pursuits in a rural setting.

### 6.2.2 Permitted Uses

- (a) Agriculture, Intensive
- (b) Animal Shelter or Sanctuary
- (c) Artisan Shop
- (d) Boarding or Breeding Facility
- (e) Cannabis Cultivation
- (f) Cannabis Processing
- (g) Civic Use
- (h) Commercial Recreation, Outdoor
- (i) Craft Brewery/Distillery
- (j) Fairgrounds
- (k) Farm
- (l) Farm Sales
- (m) Greenhouse Production
- (n) Holding Pens
- (o) Horticulture
- (p) Kennel
- (q) Landscaping Operation
- (r) Mobile Home
- (s) Nursery
- (t) Open Space
- (u) Park
- (v) Restaurant
- (w) Rodeo Facilities
- (x) Single Detached Dwelling
- (y) Temporary Use



(z) Timber Harvesting

(aa) Veterinary Clinic

### 6.2.3 Accessory Uses

(a) Accessory Building/ Structure

(b) Accessory Dwelling Unit, subject to Section 4.4.

(c) Agricultural Supply and Sales

(d) Home-Based Businesses

(e) Outdoor Storage related to permitted uses

(f) Secondary Suite

(g) Short Term Rental

### 6.2.4 Subdivision Regulations

(a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	4.00 hectares
Minimum Frontage	100 m

### 6.2.5 Development Regulations

(a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	33%
Maximum Number of Dwelling Units	1 Principal dwelling and 1 Secondary Suite on lots under 4 ha or 1 Principal dwelling and 1 ADU on lots over 4 ha only.
	Principal Building: 14.50 m



Maximum Height	ADU: 9.0 m
Requirement Type	Requirement
	Accessory Building: 5.10 m
Minimum Principal Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	7.60 m
Rear Yard (min)	7.60 m
Minimum Accessory Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	7.60 m
Rear Yard (min)	7.60 m
Maximum Accessory Building Gross Floor Area	No limit

#### 6.2.6 Other Regulations

- (a) Notwithstanding the uses listed in subsections 6.2.2 and 6.2.3 above, any use conducted on property located within the Agricultural Land Reserve is subject to approval by the Agricultural Land Commission.
- (b) Appropriate fencing shall be in place on all properties for any livestock or animals, and shall include overhead fencing when necessary.
- (c) No accessory buildings/ uses will be permitted until the principal use is established, with the exception of Accessory Dwelling Units if approved by the Development Authority per 4.4.1(e).

#### 6.2.7 Site Specific Regulations

- (a) None.

#### 6.2.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



### 6.3 GENERAL RESIDENTIAL ZONE (RI)

#### 6.3.1 Zone Intent:

- (a) This zone is to provide for lower density residential development and residential related uses.

#### 6.3.2 Permitted Uses

- (a) Mobile Home  
 (b) Open Space  
 (c) Park  
 (d) Single Detached Dwelling

#### 6.3.3 Accessory Uses

- (a) Accessory Building/ Structure  
 (b) Accessory Dwelling Unit subject to the regulations in 4.4.1  
 (c) Boarding Home  
 (d) Child Care Centre  
 (e) Home-Based Businesses  
 (f) Secondary Suite  
 (g) Short Term Rental  
 (h) Small-Scale Agriculture

#### 6.3.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	Single Detached, Mobile, with community sewer: 1,000.00 m <sup>2</sup>
	Single Detached, Mobile, without community sewer: 1,672.00 m <sup>2</sup>
Minimum Frontage	15.24 m

## 6.3.5 Development Regulations

## (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	33%
Maximum Number of Dwelling Units	Single Detached: 1 Principal and 1 Secondary Suite for parcels 1,672 to 4,000 m <sup>2</sup> or 1 principal, 1 Secondary Suite and 1 ADU for parcels greater than 4,000 m <sup>2</sup>  Mobile: 1 Principal
Maximum Height	Principal building: 11.00 m Accessory building: 5.10 m
Minimum Principal Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	1.50 m on one side and 3.00 m on the other side
Rear Yard (min)	7.60 m
Minimum Accessory Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	1.50 m on one side and 3.00 m on the other side
Rear Yard (min)	1.50 m
Maximum Accessory Building Gross Floor Area	Less square footage than the principal building

## 6.3.6 Other Regulations

## (a) No accessory buildings or uses will be permitted until the principal unit is under construction, with



the exception of Accessory Dwelling Units if approved by the Development Authority per 4.4.1(e).

6.3.7 Site Specific Regulations

(a) None.

6.3.8 Additional Regulations

(a) Any development shall also conform to all other sections of this Bylaw.

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## 6.4 MEDIUM DENSITY RESIDENTIAL ZONE (R2)

### 6.4.1 Zone Intent:

- (a) This zone is to provide for medium density residential development and residential related uses.

### 6.4.2 Permitted Uses

- (a) Duplex or Semi-detached Dwelling
- (b) Mobile Home
- (c) Open Space
- (d) Park
- (e) Single Detached Dwelling

### 6.4.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Boarding Home
- (c) Child Care Centre, in a Single Detached Dwelling or Mobile Home
- (d) Home-Based Businesses
- (e) Secondary Suite
- (f) Short Term Rental
- (g) Small-Scale Agriculture

### 6.4.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	With community sewer: Single Detached, Mobile: 1,000 m <sup>2</sup>
	Duplex: 1,000 m <sup>2</sup>  Semi-detached: 1,000 m <sup>2</sup> (each lot)
	Without community sewer: 1,672 m <sup>2</sup>



Minimum Frontage	15.24 m
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#### 6.4.5 Development Regulations

(a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	65%
Maximum Number of Dwelling Units	Single Detached: 1 Principal and 1 Secondary Suite Mobile: 1 Principal
	Duplex: 2 Principals and 1 Secondary Suite
	Semi-detached: 1 Principal on each lot (2 total) and 1 Secondary Suite on each lot (2 total)
Maximum Height	Principal building: 11.00 m
	Accessory building: 5.10 m
Minimum Principal Building Setbacks	
Front Yard (min)	7.6 m
Side Yard (min)	Single Detached: 1.50 m on one side and 3.00 m on the other side
	Duplex: 1.50 m on one side and 3.00 m on the other side
	Semi-detached: 0.00m from internal parcel line and 3.00 m from external parcel lines



Rear Yard (min)	6.00 m
Minimum Accessory Building Setbacks	
Requirement Type	Requirement
Front Yard (min)	6.00 m
Side Yard (min)	1.50 m
Rear Yard (min)	1.50 m
Maximum Accessory Building Gross Floor Area	Less square footage than principal building

#### 6.4.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal unit is under construction.
- (b) Notwithstanding 6.8.4 (a) above, parcels in the R2 zone may not be subdivided unless there is a connection to community sewer.

#### 6.4.7 Site Specific Regulations

- (a) None.

#### 6.4.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## 6.5 RURAL RESIDENTIAL ZONE (R3)

### 6.5.1 Zone Intent:

- (a) This zone is to provide for residential lots in a rural setting.

### 6.5.2 Permitted Uses

- (a) Civic Use
- (b) Community Use
- (c) Mobile Home
- (d) Open Space
- (e) Park
- (f) Single Detached Dwelling

### 6.5.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Art Gallery
- (c) Artisan Shop
- (d) Boarding or Breeding Facility
- (e) Child Care Centre
- (f) Greenhouse Production
- (g) Home-Based Agriculture
- (h) Home-Based Businesses
- (i) Home-Based Industry
- (j) Secondary Suite
- (k) Short Term Rental
- (l) Natural Resource Development, Small Scale

### 6.5.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Minimum/Maximum Requirements	Metric Measurement
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Minimum Lot Size	4.00 hectares
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Minimum/Maximum Requirements	Metric Measurement
Minimum Frontage	100m

### 6.5.5 Development Regulations

(a) Minimum and Maximum Requirements:

Minimum/Maximum Requirements	Metric Measurement
Maximum Site Coverage	33%
Maximum Number of Dwelling Units	1 Principal, 1 Secondary Suite and 1 ADU
Maximum Height	Principal building: 11.00 m
	Accessory building: 5.10 m
Minimum Principal Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	3.00 m
Rear Yard (min)	7.60 m
Minimum Accessory Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	3.00 m
Rear Yard (min)	7.60 m
Maximum Accessory Building Gross Floor Area	Less square footage than principal building



#### 6.5.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal unit is under construction, with the exception of Accessory Dwelling Units if approved by the Development Authority per 4.4.1(e).

#### 6.5.7 Site Specific Regulations

- (a) None.

#### 6.5.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.

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## 6.6 MANUFACTURED & MOBILE HOME ZONE (R4)

### 6.6.1 Zone Intent:

- (a) This zone is to provide for manufactured and mobile home residential development and residential related uses.

### 6.6.2 Permitted Uses

- (a) Caretaker Residence  
 (b) Mobile Home  
 (c) Manufactured or Mobile Home Park  
 (d) Open Space  
 (e) Park

### 6.6.3 Accessory Uses

- (a) Accessory Building/ Structure  
 (b) Home-Based Business  
 (c) Outdoor Storage  
 (d) Single Detached Dwelling for caretaker suite

### 6.6.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	Manufactured or Mobile Home Park: 2 ha
Minimum pad area	With community sewer: 200 m <sup>2</sup> .
	If serviced by septic, each pad area must be a minimum of 1,672 m <sup>2</sup> .
Minimum Frontage	50m

### 6.6.5 Development Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	60%
Maximum Number of Dwelling Units	Mobile: 1 Principal

Requirement Type	Requirement
	Manufactured and Mobile Home Park: 30 units per hectare and 1 Caretaker Residence
Maximum Height	Principal building: 6.50 m
	Accessory building: 5.10 m
Minimum Principal Building Setbacks	
Front Yard (min)	4.50 m
Side Yard (min)	2.50 m
Rear Yard (min)	4.50 m
Minimum Accessory Building Setbacks	
Front Yard (min)	6.00 m
Side Yard (min)	3.00 m
Rear Yard (min)	6.00 m
Maximum Accessory Building Gross Floor Area	10m <sup>2</sup>

#### 6.6.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal unit is located on the site.
- (b) No person shall establish, construct, or alter a Manufactured or Mobile Home Park unless written approval of plans and specifications is received, and a permit issued, by the Regional District.
- (c) Any expansion or improvements of a Manufactured or Mobile Home Park shall comply with the regulations of this Bylaw.



- (d) Manufactured or Mobile Home Parks shall dedicate a minimum of 5% of the property to open space or recreation facilities for use by its residents.
- (e) The internal layout of Manufactured or Mobile Home Parks shall be organized to allow for efficient movement of vehicular traffic. No mobile home or modular home shall be permitted to locate in a situation which hinders the efficient movement of traffic.
- (f) There shall be a minimum of 4.50 m between mobile homes or modular homes or their appurtenances.
- (g) The use, installation, and storage of all flammable equipment or materials shall be in accordance with provincial legislation.
- (h) The underside of each mobile home or modular home shall be completely screened from view by the foundation, skirting or other means that is of a manufactured or similar type to harmonize with the unit within 30 days of placement on the lot.
- (i) Every mobile home or modular home placed on a lot shall be identified by an attached Canadian Standards Association metal label stating that its construction meets CSA standards.
- (j) All mobile homes or modular homes shall be securely anchored against the effect of high winds.
- (k) Mobile homes may be affixed to the ground using pilings or on foundation.
- (l) Modular Homes shall be placed on a foundation, or on pilings and skirted.
- (m) All additions to mobile homes or modular homes shall comply with this Bylaw and the Building Code.
- (n) All accessory building, additions, porches, decks, patios or other structural additions shall be of equivalent quality and appearance to the principal dwelling unit and shall harmonize with the exterior of the unit.

#### 6.6.7 Site Specific Regulations

- (a) None.

#### 6.6.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## **6.7 CENTRAL AND HIGHWAY COMMERCIAL ZONE (CI)**

### 6.7.1 Zone Intent:

- (a) The purpose of this zone is to provide for a mixture of commercial and residential uses and to promote commercial areas.

### 6.7.2 Permitted Uses

- (a) Agricultural Supply and Sales
- (b) Art Gallery
- (c) Artisan Shop
- (d) Assembly
- (e) Auction Facility
- (f) Bakery
- (g) Broadcasting and Recording
- (h) Building Supply Store
- (i) Business Support Services
- (j) Cannabis Retail Store
- (k) Car Wash
- (l) Care Facility, Clinic
- (m) Child Care Centre
- (n) Civic Use
- (o) Commercial Recreation, Indoor
- (p) Commercial Recreation, Outdoor
- (q) Commercial Vehicle Sales, Rental and Service
- (r) Community Use
- (s) Craft Brewery/Distillery
- (t) Drive-in or Drive-thru Business
- (u) Entertainment Facility
- (v) Exhibition and Convention Facilities
- (w) Financial Services
- (x) Funeral Home
- (y) General Contractor Services



- (z) Hostel
- (aa) Hotel
- (bb) Indoor Storage
- (cc) Landscaping Operation
- (dd) Liquor Store
- (ee) Motel
- (ff) Neighbourhood Pub
- (gg) Office
- (hh) Open Space
- (ii) Park
- (jj) Personal Service Establishment
- (aa) Place of Worship
- (bb) Restaurant
- (cc) Retail, Large Format
- (dd) Retail Store
- (ee) Retail, Grocery Store
- (ff) Service Station
- (gg) Temporary Sales
- (hh) Temporary Use
- (ii) Transportation Depot
- (kk) Truck Travel Centre
- (ll) Vehicle Sales, Rental and Service
- (kk) Veterinary Clinic
- (mm) Visitor Information Centre
- (nn) Wholesale Establishment

### 6.7.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Caretaker Residence
- (c) Dwelling Units



- (d) Home-Based Businesses
- (e) Outdoor Storage
- (f) Parking Area or Lot
- (g) Temporary Sales

#### 6.7.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	1,672 m <sup>2</sup>
Minimum Frontage	6.00 m

#### 6.7.5 Development Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	75%
Maximum Number of Dwelling Units	No limit
Maximum Height	Principal building: 14.00 m
	Accessory building: 10.60 m
Minimum Principal Building Setbacks	
Front Yard (min)	Commercial/Mixed Use: 4.50 m
Side Yard (min)	0.00 m
Rear Yard (min)	3.00 m
Minimum Accessory Building Setbacks	
Front Yard (min)	Commercial/Mixed Use: 4.50 m
Side Yard (min)	0.00 m



Rear Yard (min)	1.50 m
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#### 6.7.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal unit is under construction.
- (b) Parking shall be located to the rear or side of, or under, the principal building, where feasible.
- (c) Parking lots adjacent to another land use shall be fenced, and/or landscaped with a vegetative buffer, of not less than 1.50 m and not more than 2.0 m in height.
- (d) All storage areas shall be screened from any adjacent residential zone by a fence not less than 1.50 m and not more than 2.00 m in height.
- (e) Dwelling units must be contained within the same building as the Principal use, located above the Principal use, and have a separate exterior entrance.
- (f) Dwelling units are not permitted on lots that include Hostels, Hotels, Motels, Service Stations, Transportation Depot, or Vehicle Sales, Rental and Service.
- (g) Notwithstanding 6.11.4 (a) above, parcels in the C1 zone may not be subdivided unless there is a connection to community sewer.

#### 6.7.7 Site Specific Regulations

- (a) None.

#### 6.7.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## 6.8 TOURISM COMMERCIAL ZONE (C2)

### 6.8.1 Zone Intent:

- (a) The purpose of this zone is to provide for commercial and residential uses for tourist attraction.

### 6.8.2 Permitted Uses

- (a) Art Gallery
- (b) Artisan Shop
- (c) Assembly
- (d) Bakery
- (e) Campground or RV Park
- (f) Cannabis Retail Store
- (g) Civic Use
- (h) Commercial Recreation, Indoor
- (i) Commercial Recreation, Outdoor
- (j) Community Use
- (k) Craft Brewery/Distillery
- (l) Drive-in or Drive-thru Business
- (m) Entertainment Facility
- (n) Exhibition and Convention Facilities
- (o) Hostel
- (p) Hotel
- (q) Liquor Store
- (r) Motel
- (s) Neighbourhood Pub
- (t) Office
- (u) Open Space
- (v) Park
- (w) Personal Service Establishment
- (x) Restaurant
- (y) Retail Store



- (z) Retail, Grocery Store
- (aa) Service Station
- (bb) Temporary Use
- (cc) Truck Travel Centre
- (dd) Visitor Information Centre
- (ee) Winery

### 6.8.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Caretaker Residence
- (c) Dwelling Units
- (d) Home-Based Businesses
- (e) Parking Area or Lot
- (f) Temporary Sales

### 6.8.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	1,672 m <sup>2</sup> With aerodrome: 40 ha
Minimum Frontage	6.00 m

### 6.8.5 Development Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	75%
Maximum Number of Dwelling Units	No limit



Maximum Height	Principal building: 18.00 m
	Accessory building: 6.40 m
Minimum Principal Building Setbacks	
Front Yard (min)	Commercial/Mixed Use: 4.50 m
Side Yard (min)	0.00 m
Rear Yard (min)	3.00 m
Minimum Accessory Building Setbacks	
Front Yard (min)	Commercial/Mixed Use: 4.50 m
Side Yard (min)	0.00 m
Rear Yard (min)	1.50 m

#### 6.8.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal unit is under construction.
- (b) Parking shall be located to the rear or side of, or under, the principal building, where feasible.
- (c) Parking lots adjacent to another land use shall be fenced, and/or landscaped with a vegetative buffer, of not less than 1.50 m and not more than 2.0 m in height.
- (d) All storage areas shall be screened from any adjacent residential zone by a fence not less than 1.50 m and not more than 2.00 m in height.
- (e) Notwithstanding 6.11.4 (a) above, parcels in the C2 zone may not be subdivided unless there is a connection to community sewer.

#### 6.8.7 Site Specific Regulations

- (a) None.

#### 6.8.8 Additional Regulations

- (A) Any development shall also conform to all other sections of this Bylaw.



## **6.9 LIGHT INDUSTRIAL ZONE (MI)**

### 6.9.1 Zone Intent:

- (a) This zone is to provide for the development of light industrial activities that provide light manufacturing, storage, industrial services, and other commercial services.

### 6.9.2 Permitted Uses

- (a) Agricultural Supply and Sales
- (b) Alcohol Production
- (c) Animal Shelter or Sanctuary
- (d) Artisan Shop
- (e) Auction Facilities
- (f) Boarding or Breeding Facility
- (g) Broadcasting and Recording
- (h) Building Supply Store
- (i) Bulk Fuel Storage
- (j) Business Support Services
- (k) Cannabis Cultivation
- (l) Cannabis Processing
- (m) Care Facility, Medical
- (n) Car Wash
- (o) Civic Use
- (p) Commercial Vehicle Sales, Rental and Service
- (q) Craft Brewery/Distillery
- (r) Equipment Sales, Rental and Service
- (s) Exhibition and Convention Facilities
- (t) Freight Transport and Storage
- (u) Funeral Home
- (v) General Contractor Services
- (w) Greenhouse Production
- (x) Horticulture
- (y) Indoor Storage
- (z) Kennel



- (aa) Laboratory and Research Facilities
- (aa) Landscaping Operation
- (bb) Laundromat, Industrial
- (cc) Maintenance Facility
- (dd) Manufacturing, Light
- (ee) Nursery
- (ff) Office
- (gg) Open Space
- (hh) Park
- (ii) Personal Service Establishment
- (jj) Recycling Depot
- (kk) Renewable Energy Systems
- (ll) Restaurant
- (mm) Retail Store
- (nn) Service Station
- (oo) Transportation Depot
- (pp) Truck Travel Centre
- (qq) Vehicle Sales, Rental and Service
- (rr) Veterinary Clinic
- (ss) Warehouse Facility
- (tt) Welding, Machining, or Metal Fabrication
- (uu) Wholesale Establishment
- (vv) Woodworking

### 6.9.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Caretaker Residence
- (c) Outdoor Storage
- (d) Outdoor Storage, Recreation
- (e) Outdoor Storage, Truck



- (f) Parking Area or Lot
- (g) Shipping Containers
- (h) Temporary Sales
- (i) Temporary Use

#### 6.9.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	2,000.00 m <sup>2</sup>
Minimum Frontage	18.28m

#### 6.9.5 Development Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	60%
Maximum Height	Principal building: 15.00 m
	Accessory building: 12.00 m
Minimum Principal Building Setbacks	
Front Yard (min)	4.60 m
Side Yard (min)	4.60 m
Rear Yard (min)	4.60 m
Minimum Accessory Building Setbacks	
Front Yard (min)	4.60 m
Side Yard (min)	3.00 m
Rear Yard (min)	3.00 m

#### 6.9.6 Other Regulations



- (a) No accessory buildings or uses will be permitted until the principal unit is under construction.
- (b) Shipping containers shall not be stacked more than two high.
- (c) Outdoor storage must be located only in side and/or rear yards, and must be screened by a fence or vegetative buffer of not less than 1.80 m and not more than 2.44 m in height.
- (d) Any person engaged in fish processing shall:
  - (i) Meet all Provincial and Federal regulations for air emissions;
  - (ii) Not allow the waste from the plant or operation to accumulate around their premises;
  - (iii) Store all waste emanating from the fish processing plant inside the premises only, and in a sealed container that shall be sealed at all times other than during such time as waste is being placed in the container. The container shall be stored a minimum of 7.6 metres from any parcel line;
  - (iv) Not allow persistent smoke or odour;
  - (v) Operate to ISO 9000 certification standards for odour and emissions.
- (e) A Solid Waste Management Plan may be required with the submission of a Development Permit application at the discretion of the Development Authority, which will depend on the use and nature of the proposed facility.
- (f) A Water Demand Estimation report may be required with the submission of a Development Permit application at the discretion of the Development Authority, which will depend on the proposed operations to occur at the proposed facility.

#### 6.9.7 Site Specific Regulations

- (a) Fish Processing is a permitted use for the property legally described as Lot 2, District Lot 373, Range 5, Coast District, Plan 12251, Except Plan PRP12830 and PRP13851, as outlined on Schedule A of Bylaw No. 536, 2007.

#### 6.9.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## **6.10 RESTRICTED INDUSTRIAL ZONE (M2)**

### 6.10.1 Zone Intent:

- (a) To provide a zone for heavy industrial activities that may have large land requirements and / or specific nuisance impacts on adjacent lands.

### 6.10.2 Permitted Uses

- (a) Agriculture Processing
- (b) Alcohol Production
- (c) Bulk Fuel Storage
- (d) Commercial Vehicle Sales, Rental and Service
- (e) Concrete and Asphalt Plant
- (f) Equipment Sales, Rental and Service
- (g) Hazardous Goods Storage
- (h) Indoor Storage
- (i) Industrial, Salvage
- (j) Maintenance Facility
- (k) Natural Resource Development
- (l) Outdoor Storage
- (m) Outdoor Storage, Truck
- (n) Manufacturing, Heavy
- (o) Recycling Depot
- (p) Temporary Use
- (q) Welding, Machining, and Metal Fabrication
- (r) Woodworking

### 6.10.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Car Wash
- (c) General Contractor Services
- (d) Office
- (e) Shipping Containers
- (f) Vehicle Sales, Rental and Service
- (g) Warehouse Facility



## 6.10.4 Subdivision Regulations

## (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	1 ha
Minimum Frontage	30.48m

## 6.10.5 Development Regulations

## (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	60%
Maximum Number of Dwelling Units	None
Maximum Height	Principal building: 20.00 m
	Accessory building: 12.00 m
Minimum Principal Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	7.60 m
Rear Yard (min)	7.60 m
Minimum Accessory Building Setbacks	
Front Yard (min)	7.60 m
Side Yard (min)	7.60 m
Rear Yard (min)	7.60 m

## 6.10.6 Other Regulations



- (a) No accessory buildings or uses will be permitted until the principal unit is under construction.
- (b) Shipping containers may be stacked to the maximum height permitted within this zone for accessory buildings. Any containers stacked higher than screening shall be kept in an orderly manner.
- (c) Natural Resource Development, including gravel pits and aggregate extraction, shall only be permitted in accordance with a provincial permit.
- (d) At the discretion of the Development Authority, an Emergency Access Plan and / or Risk Assessment may be required with submission of a development application that would define potential environmental risks based on the industrial development. Based on the recommendations of a Risk Assessment, additional safety measures may be required by the Development Authority in order to consider a proposed development.
- (e) For Heavy Industrial Uses, all structures shall be designed for ease of evacuation, access by emergency services, and mechanical systems to provide protection to occupants in the case of a significant industrial accident.
- (f) A Water Demand Estimation report and Wastewater Treatment Plan may be required by the Development Authority with the submission of a Development Permit application, which will describe how much water the proposed operations will utilize on a daily basis as well as waste water treatment.

#### 6.10.7 Site Specific Regulations

- (a) None.

#### 6.10.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## 6.11 PARK (PI)

### 6.11.1 Zone Intent:

- (a) This zone is to provide for the development of active and passive recreational areas.

### 6.11.2 Permitted Uses

- (a) Band Stand
- (b) Cemetery and Funeral Services
- (c) Civic Use
- (d) Cultural Site
- (e) Fairgrounds
- (f) Indoor Storage
- (g) Open Space
- (h) Outdoor Amphitheatre
- (i) Park
- (j) Picnic Site, Covered

### 6.11.3 Accessory Uses

- (a) Accessory Building/ Structure
- (b) Parking Lot or Area
- (c) Restaurant
- (d) Temporary Sales
- (e) Temporary Use

### 6.11.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	No minimum
Minimum Frontage	No minimum

### 6.11.5 Development Regulations

(a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	20%
Maximum Height	Principal Building: 15.00 m
	Accessory Building: 6.40 m
Minimum Principal Building Setbacks	
Front Yard (min)	3.00 m
Side Yard (min)	3.00 m
Rear Yard (min)	3.00 m
Minimum Accessory Building Setbacks	
Front Yard (min)	3.00 m
Side Yard (min)	3.00 m
Rear Yard (min)	3.00 m

### 6.11.6 Other Regulations

- (a) Consideration will be given to public safety and wildlife prior to any development.
- (b) All parcel and development regulations shall be at the discretion of the Development Authority.

### 6.11.7 Site Specific Regulations

- (a) None.

### 6.11.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.

## **6.12 COMMUNITY AND INSTITUTIONAL ZONE (IN)**

### 6.12.1 Zone Intent:

- (a) This zone is to provide for the development of institutional, educational, community service, and recreational uses and facilities.

### 6.12.2 Permitted Uses

- (a) Art Gallery
- (b) Assembly
- (c) Band Stand
- (d) Care Facility, Clinic
- (e) Care Facility, Group
- (f) Care Facility, Medical
- (g) Care Facility, Seniors
- (h) Cemetery and Funeral Services
- (i) Child Care Centre
- (j) Civic Use
- (k) Commercial Recreation, Indoor
- (l) Commercial Recreation, Outdoor
- (m) Community Use
- (n) Cultural Site
- (o) Education Facility
- (p) Fairgrounds
- (q) Hostel
- (r) Maintenance Facility
- (s) Open Space
- (t) Park
- (u) Place of Worship
- (v) Private Clubs and Lodges
- (w) Transportation Depot

### 6.12.3 Accessory Uses

- (a) Accessory Building/ Structure



- (b) Caretaker Residence
- (c) Outdoor Amphitheatre
- (d) Parking Lot or Area
- (e) Restaurant
- (f) Temporary Sales
- (g) Temporary Use

#### 6.12.4 Subdivision Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Minimum Lot Size	Community sewer: 464.00 m <sup>2</sup> Without community sewer: 1,672 m <sup>2</sup>
Minimum Frontage	15.24m

#### 6.12.5 Development Regulations

- (a) Minimum and Maximum Requirements:

Requirement Type	Requirement
Maximum Site Coverage	75%
Maximum Height	Principal building: 15.00 m
	Accessory Building: 6.4 m
Minimum Principal Building Setbacks	
Front Yard (min)	6.00 m
Side Yard (min)	3.00 m
Rear Yard (min)	3.00 m
Minimum Accessory Building Setbacks	
Front Yard (min)	6.00 m



Side Yard (min)	3.00 m
<b>Requirement Type</b>	<b>Requirement</b>
Rear Yard (min)	3.00 m

#### 6.12.6 Other Regulations

- (a) No accessory buildings or uses will be permitted until the principal building is under construction.
- (b) Notwithstanding 6.18.4 (a) above, there is no minimum lot size for a park.

#### 6.12.7 Site Specific Regulations

- (a) None.

#### 6.12.8 Additional Regulations

- (a) Any development shall also conform to all other sections of this Bylaw.



## 6.13 COMPREHENSIVE DEVELOPMENT

### 6.13.1 Intent:

- (a) The intent of comprehensive development is to provide for the development of comprehensive, site-specific land use regulations for properties where conventional zones would be inappropriate or inadequate with regard to uses or existing or future surrounding developments or to the interest of the applicant or to the public.

### 6.13.2 Consideration and Application

- (a) The Board of Directors may approve the creation of a comprehensive development zone where at minimum one of the following conditions is met:
  - (i) The proposed development is, in the opinion of the Board, considered appropriate for the site with regard to the policies and objectives of the Official Community Plan and any other applicable plan or policy; or
  - (ii) No other zone exists that permits all of the proposed uses and, in the opinion of the Board, all of the proposed uses are appropriate for the subject property; or
  - (iii) The use of any other zone in this Bylaw to accommodate the proposed development would, in the opinion of the Board, result in potential conflicts with the scale and character of existing or future surrounding development, should the full development potential of such zone be utilized; or
  - (iv) The proposed development is of a scale, character, or complexity requiring comprehensive planning and implementation that, in the opinion of the Board, is of a unique form or nature not contemplated or reasonably regulated by another zone.
- (b) In addition to any application requirements outlined elsewhere in this Bylaw or in the Development Procedures Bylaw, the applicant must also provide the following information:
  - (i) Support rationale explaining why a comprehensive development zone is desirable for the site, having regard to 6.20.2(a) above;
  - (ii) A proposed zone, laid out in a similar format to the standard zone of this Bylaw, which includes: the intent of the zone, a list of permitted uses for the site, a list of regulations for the site, a list of any other regulations that may apply and, as preferred by the Regional District, a site plan and/or elevation drawings; and
  - (iii) A narrative documenting the opinions and concerns of surrounding property owners and residents obtained through a public information program and how the proposed development responds to these concerns, together with a summary of methods used to obtain such input.

6.13.3 The regulations of all other sections of this Bylaw apply to all development within sites zoned for comprehensive development, unless such regulations are specifically excluded or modified by the comprehensive development zone.

6.13.4 If a comprehensive development zone is located in a Development Permit Area, as outlined in the Official Community Plan, the specified Development Permit(s) shall apply.

6.13.5 Comprehensive development zones shall be designated on the Zoning map by “CD” followed by the reference number of the comprehensive development zone.

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